

**PALM BEACH COUNTY
BOARD OF COUNTY COMMISSIONERS
AGENDA ITEM SUMMARY**

Meeting Date: **February 2, 2010**

Consent
 Ordinance

Regular
 Public Hearing

Department: Parks and Recreation

Submitted By: Parks and Recreation Department

Submitted For: Parks and Recreation Department

I. EXECUTIVE BRIEF

Motion and Title: Staff recommends motion to: **A) ratify** the Chair's signature on a Florida Department of State – Division of Historical Resources Small Matching Historic Preservation Grant-in-Aid Grant Application requesting \$50,000 for renovation of the windows at the DuBois Pioneer Home in DuBois Park; **B) authorize** the County Administrator or his designee to execute the funding agreement, as well as task assignments, certifications, standard forms, or amendments to the agreement that do not change the scope of work or terms and conditions of the agreement if the grant is approved; and **C) authorize** the Director of the Parks and Recreation Department to serve as Liaison Agent with the Florida Department of State for this project.

Summary: This Grant Application requests \$50,000 to replace/restore windows at the DuBois Pioneer Home. In the spring of 2009, the County began approximately \$450,000 in exterior renovations to the home including a new wood shake roof, repair and replacement of the wood shake siding, removal of the breezeway which connected the chauffeur's quarters to the main house, renovation of the front porch and replacement of some of the windows. This requested grant is for \$50,000 and will be matched with \$50,000 from the Park Improvement Fund. District 1 (AH)

Background and Justification: The Florida Department of State Division of Historical Resources offers a number of grant programs to assist in the preservation of historical sites and facilities throughout Florida. The State's time frame for this application did not allow for prior approval by the Board of County Commissioners. Commissioner Burt Aaronson, Chair, signed the application on behalf of the Board of County Commissioners on December 15, 2009, as authorized by PPM CW-F-003 (Policy B.3). The PPM requires the grant be presented to the Board of County Commissioners for approval at the next available Board meeting after signature by the Chair.

The DuBois Pioneer Home was built in 1898, and was acquired by the County in 1972. The Loxahatchee River Historical Society has operated a history museum with period furnishings and displays since 1977.

Attachment: Grant Application

Recommended by:


Department Director

1/8/10
Date

Approved by:


Assistant County Administrator

1/5/10
Date

II. FISCAL IMPACT ANALYSIS

A. Five Year Summary of Fiscal Impact:

Fiscal Years	2010	2011	2012	2013	2014
Capital Expenditures	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
Operating Costs	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
External Revenues	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
Program Income (County)	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
In-Kind Match (County)	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
NET FISCAL IMPACT	<u>-0-</u> <i>* see below</i>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
# ADDITIONAL FTE POSITIONS (Cumulative)	_____	_____	_____	_____	_____

Is Item Included in Current Budget? Yes _____ No _____
 Budget Account No.: Fund _____ Department _____ Unit _____
 Object _____ Program _____

B. Recommended Sources of Funds/Summary of Fiscal Impact:

* There is no fiscal impact at this time. Should the grant be awarded, the funding sources for this project are identified as follows:

FUND: Park Improvement Fund
 UNIT: Dubois Home Restoration

Small Matching Historic Preservation Grant	3600-581-P554	\$50,000
Park Improvements	3600-581-P554	\$50,000
	Project Total	\$100,000

C. Departmental Fiscal Review: Ckopolakis

III. REVIEW COMMENTS

A. OFMB Fiscal and/or Contract Development and Control Comments:

<p><u> Jim Dyl </u> 1-19-10 OFMB 1/14/10 9:45 1/15/10 1-13-10</p>	<p><u> Jim J. Jacobson </u> 1/20/10 Contract Development and Control</p>
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B. Legal Sufficiency:

 Anne Helgand 1/22/10
 Assistant County Attorney

C. Other Department Review:

 Department Director

REVISED 10/95
 ADM FORM 01

This summary is not to be used as a basis for payment



**Parks and Recreation
Department**

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Lake Worth, FL 33461
(561) 966-6600
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**Palm Beach County
Board of County
Commissioners**

Burt Aaronson, Chair
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December 16, 2009

Mr. Scott M. Stroh, Director
Division of Historical Resources
Grants and Education Section
Bureau of Historic Preservation
500 South Bronough Street
Tallahassee, Florida 32399-0250

**RE: DuBois Pioneer Home – 2011 Historical Resources Small Matching
Grants-in-Aid application.**

Dear Mr. Stroh:

Palm Beach County is pleased to submit a grant application for the continued renovation of the historic DuBois Pioneer Home located on the Jupiter Inlet. This home was built by Harry DuBois for his bride Susan in 1898 atop an Indian midden, and offers visitors views of the ocean, inlet and Jupiter Lighthouse.

The home is on the National Register of Historical Places, and in October 2006, the house and surrounding park property were added to Palm Beach County's Registry of Historic Places.

In the spring of 2009, the County completed over \$450,000 in exterior renovations. Due to budgetary constraints, the original project was scaled back and the County was unable to renovate/replace the 25 remaining windows. The County is requesting \$50,000 in grant funding which will be matched with \$50,000 remaining in our capital budget for the window renovation project.

In 1977, the Loxahatchee River Historical Society converted the pioneer home to a museum with period furnishing and artifacts. The museum has been closed since 2008, and will reopen once renovations are complete.

Please contact Jean Matthews, Senior Planner, at the Palm Beach County Parks and Recreation Department at 561-966-6652 if you have any questions about this grant application or if you need any additional information.

Thank you for your assistance in this endeavor.

Sincerely,

A handwritten signature in black ink, appearing to read "Dennis Eshleman".

Dennis Eshleman, Director
Palm Beach County Parks and Recreation Department

2011 Historic Preservation Grant-in-Aid

**DuBois Pioneer Home Museum
Window Restoration Project**



**Submitted by
Palm Beach County
Parks and Recreation Department
December 16, 2009**

2011 Small Matching Grant Application

Application #: FSM11_0039
Project Category: Development Projects
Project Title: DuBois Pioneer Home Window Rehabilitation
Name and Title of Organization's Chief Officer: Robert Weisman, County Administrator
Submitted On: December 16, 2009
Submitted By: Matthews, Jean

Application Limitations

An applicant from the same organization may not submit more than one (1) application under a single application deadline in any Small Matching Grant category. State, county or city governments, or universities may submit single applications within the same category from more than one division or department during any grant cycle provided that those divisions or departments are separate and distinct budgetary units and providing that applications do not address the same facility, project or site.

1. Application Organization

Enter the full name of the applicant organization. Please note that there can only be one applicant organization per application.

Palm Beach County Parks and Recreation Department

2. Project Category

Select the project category or categories for which grant funds are requested. If you are unsure of which category to select, please refer to the definition beneath each project category.

Development Projects

Development Activities for historic properties including restoration, rehabilitation, preservation, reconstruction, and site-specific planning for these activities.
Recordation of historic properties and archaeological sites threatened with damage or destruction.

3. Project Title and Location Information

The title should reflect the name of the property, area, and the goals of the proposed project. (For example, Smith House Rehabilitation, South Mill Neighborhood Survey, etc.)

a) Project Title

DuBois Pioneer Home Window Rehabilitation

b) Project Location

Please provide the location of the project site.

1) Name of Property

DuBois Park

2) Street Address

19075 DuBois Road

3) City

Town of Jupiter

4) County where Project is Located

Palm Beach

5) For Remote location (locations without a street address), provide the USGS 7.5 Minute Quadrangle Name. To determine Township, Range and Section, at least one of the following is needed: property tax appraisal number or latitude/longitude coordinates for the property. For information and assistance contact the Florida Master Site File by phone at 850.245.6440 or 800.847.PAST.

USGS Quadrangle Name

Jupiter

Township

40

Range

43

Section

31

4. Amount Requested and Match

Enter the amount of grant funds being requested and the amount of match . Except for Main Street and Statewide Special Projects, the maximum award amount is \$50,000.

The match must be equal to or exceed the amount of grant funds being requested, except for eligible REDI counties and communities (see 5 below). Match requirements may also be waived for Main Street and Statewide Special Projects.

Please note that overmatch (contribution of match resources in excess of the match requirements) shall result in no special consideration or advantage in application ranking; however the applicant shall be required to document the availability of funding sufficient to complete the project if completion requires more than twice the amount of requested grant funding.

The amount listed in a) and b) below must equal the totals listed for Grant Funds and Match Value under Question 15, Project Budget. Detailed documentation of the applicant's match must be addressed in Question 16, and confirmation of the match must be included as Attachment B.

a) Amount of Grant Funding Requested

\$50,000.00

b) Match Amount

\$50,000.00

5. Rural Economic Development Initiative (REDI) Waiver of Match Requirements

Applicants located in counties or communities that have been designated as rural community in accordance with Section 288.0056 and 288.06561, Florida Statutes, may request a waiver of matching requirements.

Are you requesting a waiver? Am I In a REDI Community?

No

6. Project Description

In the space provided below, briefly describe the project for which funding is requested. Indicate how you intend to use the funds requested and the required match, describing each of the major work items involved and what the end product will be. For projects involving individual historic properties or archaeological sites, also briefly describe the historic significance of the property or properties for which grant funding is being requested. (5,000 Character Limit)

The DuBois Pioneer Home/Museum was built in 1898, and is one of the last remaining historic homesteads of its type in Palm Beach County and is listed on the National Registry of Historic Places. Located in northern Palm Beach County near the mouth of the Jupiter Inlet, in view of the Atlantic Ocean, it has withstood the effects and damages of the elements for over 100 years. The home is located in a coastal flood zone, but since it is located on top of a Native American shell midden it is not threatened by storm surge or coastal flooding. However, as a result of its increased elevation, there is greater susceptibility to wind damage. The exterior of the pioneer home was damaged during the 2004 and 2005 hurricanes. The County hired Bender and Associates Architects to complete architectural drawings and specifications for the exterior renovation. In the spring of 2009 the County hired a contractor specializing in historic restoration to completely renovate the exterior. Over \$450,000 was spent on the renovation project including repairing and replacing the wood shake siding, replacing the roof with a historically correct wood shake roof, rebuilding the front porch, removing a breezeway which connected the main house to the chauffeur's quarters and replacing seven of the 32 windows. All 32 windows were originally scheduled to be replaced during the initial renovation project; however due to unexpected problems and cost overruns there was insufficient capital funding available to replace the 25 remaining windows. Of the 25 remaining windows, 16 are original to the house and will be refurbished. The original windows will be taken down, sanded and repainted, and then the broken hardware will be fixed or replaced. Lexan panels will be installed over all 32 windows to provide hurricane protection and maintain the historic look of the property. The remaining nine aluminum awning windows were previously added to the kitchen and a portion of the upstairs. These remaining nine windows will be replaced with historic replicas made of yellow pine and will feature historically correct hardware. The total cost of the window project is \$165,000. The County has \$50,000 available to use as matching funds for the grant. If the 2011 Small Matching Grant is awarded, the County will attempt to reallocate an additional \$65,000 from our capital budget toward this window replacement project. The County will prioritize the elements of the project as follows; replacement of the nine aluminum awning windows with historically correct replicas, installation of Lexan panels over all 32 window openings, and renovation of as many of the existing double hung windows as funding will permit. The County's priority is to make the exterior of the museum historically correct, the Lexan panels represent only a small portion of the project cost (\$3,000) and it is imperative the building be protected in the event of a storm. The remaining 16 double hung windows can be renovated individually as time and money permit. A contractor who specializes in historic renovations will be hired to install the replacement windows and rehabilitate the original windows and insure the home is not damaged. The window rehabilitation project will be overseen by Chris Davenport, County Archeologist. The County applied this year for a Special Category Historical Resources Grant for \$155,000. If this grant is awarded these funds will be used to complete the window renovation project and the County will request permission from the State to expand the scope of the Special Category Grant to complete ADA accessibility improvements. In the spring of 2010, the County plans to commence construction of a \$2.4 million waterfront project at DuBois Park. The project includes 17 day use docks, a water taxi landing site and a one acre snorkeling area, all environmental permits are in place. This project is being funded through grants and money from the 2004, Waterfront Access and Preservation Bond, this bond money is not permitted to be used for projects not associated with water access. The proposed improvements will provide park patrons an alternative means of transportation to visit the park and will attract additional visitors. The County anticipates the water taxi will be very popular. The DuBois Pioneer Home Museum is currently closed to the public until renovations can be completed. The County will complete the renovations to the museum as quickly as funding permits in order to reopen in a timely manner. There are very few history museums in Palm Beach County and it is imperative the museum be reopened as quickly as possible.

7. Major Elements and Responsible Entities

Describe the major elements of the project and indicate the type of entity (e.g., consultant, in-house personnel, volunteers, general contractor) responsible for each element.

Major Project Elements	Entity Type Responsible
1 Construct 9 historically correct windows to replace 9 awning windows w/ historically correct replicas	Palm Beach Trm (builder)
2 Install nine new double hung windows	contractor specializing in historic restoration
3 Install Lexan panels	contractor specializing in historic restoration
4 Renovate 16 original double hung windows	contractor specializing in historic restoration

8. Public Awareness

Please describe project-related activities that will increase project visibility, further the objective of improving public awareness of the project's significance and the importance of preserving your property (if applicable) and other historic properties in your community. *Such activities may include but are not limited to: a series of press releases describing your preservation project and its progress or a brochure explaining the history of the property and how it is being rehabilitated to serve a contemporary community need.* (1,500 character limit)

The Dubois Pioneer Home is owned and maintained by Palm Beach County and the Loxahatchee River Historical Society operates the property as a history museum. The Historical Society has a professionally designed and maintained web site which has information on the Jupiter Lighthouse, the history of Palm Beach County, early settlers to the area as well as information on the museum. The renovation project will be publicized in a series of press releases and will also be covered by the District County Commissioner in a monthly column she writes for a local newspaper. Once renovations are complete the museum will be reopened for displays and tours by the Loxahatchee River Historical Society. Our County Archeologist, Chris Davenport may hold lectures in the museum during the month of March as part of the County's Archeology month celebrations. The proposed project will also be discussed during a regularly scheduled Palm Beach County Historic Resources Review Board public meeting to get input from the general public and a panel of experts.

9. Tentative Project Timeline

Please specify the start and end month and year below, indicate all major elements of the project for which funding assistance is requested (see question 7), the anticipated time required to complete each element, and the planned sequence of these activities. Month 1 is the project start date. **Projects should be completed within 12 months.**

	Project Activity	Start Month	Start Year	End Month	End Year
1	Company to manufacture windows	August	2010	October	2010
2	Contractor to refurbish windows	August	2010	January	2011
3	Contractor to install windows	November	2010	January	2011
4	Contractor to install Lexan Panels	January	2011	February	2011

10. Acquisition or Donation of Historic Properties or Archaeological Sites ONLY

For Acquisition projects, enter the full purchase price of the historic property and the appraised value of the property.
For donated properties to be used as match, enter the appraised value of the property.

The maximum grant share for a Historic Property Acquisition project shall not exceed 50% of the value of the property as determined by a complete summary appraisal prepared by a Florida State Certified General Real Estate Appraiser. If the appraisal exceeds \$500,000, a second appraisal must be obtained. In such case, the grant award shall not exceed 50% of the average of the two appraisals.

For acquisition of archaeological sites, the land to be purchased must be demonstrated by professional archaeological survey to contain the archaeological site that is the subject of the acquisition.

Only the purchase of the historic property or archaeological site is eligible for grant funding. All closing costs are the responsibility of the applicant organization.

For the purpose of match, property donation must occur during the grant period. The allowable value of donated property as a contribution to match shall be limited to the value of the historic structure(s) and that area of the land occupied by the footprint of the structure(s). For archaeological sites, the allowable value of donated property as a contribution to match shall be confined to the limits of the archaeological site as determined by professional archaeological survey. This value must be based on a complete summary appraisal prepared by a Florida State Certified General Real Estate Appraiser. The value of additional donated acreage shall not be allowable as contribution to match. Legal fees and other costs associated with the donation are not eligible contributions.

a) Full Purchase Price of Historic Property

\$0.00

b) Appraised Value of the Property

\$0.00

c) Area of Property (Specify Acres or Square Feet)

Not applicable

d) Area of Historic Building(s) or Archaeological Site (Specify Acres or Square Feet)

Not applicable

e) Proated Value for Match Contribution ONLY

\$0.00

11. Survey and Planning Projects ONLY

For Surveys, indicate the types of historical resources to be surveyed. (1,000 character limit)

Not applicable

a) Provide the title and publication date of any previous surveys in the survey project area:

Report/Survey Title/Author of Principal Investigator	Date
Not applicable	

b) Provide an estimate of the number of Florida Master Site Forms that will be produced by the survey for newly recorded sites and updates of previously recorded sites:

Newly Recorded Sites

0

Florida Master Site File Updates

0

(Note: Surveys that record or update site file forms for more than 10 historic properties or archaeological sites must produce paper Florida Master Site Forms and also submit the site file data in the electronic data entry program SmartForm provided by the Florida Master Site File.)

c) Enter the Acreage of the area to be surveyed

0

12. National Register Nomination Projects ONLY

For National Register nominations, indicate the number of anticipated individual nominations and/or district nominations:

a) Individual Nominations

0

b) District Nominations

0

c) Will a multiple property cover nomination be produced?

No

13. Community Education Projects ONLY

Please provide the information requested for Community Education projects.

a) For audio-visual productions, books, pamphlets, walking tour brochures, etc., explain how the product(s) will be marketed and/or distribute

Not applicable

b) How many minutes/pages is the product?

Not applicable

c) How many copies of the product will be produced?

Not applicable

d) If the printed/media materials are proposed for distribution, will there be a per item charge?

No

If Yes, provide the estimated charge.

\$0.00

e) For Education Materials, is the local school system actively involved in your project?

No

If Yes, describe their participation to date and anticipated further participation in this project.

Not applicable

14. Completed Project Activities

Briefly describe the Project Activities completed to date the project related activities that have been completed at the time of the application submittal. Such activities may include architectural studies or plans, preservation planning activities, or archaeological research. If completed, printed architectural schematics or construction documents, preliminary survey mapping and research documents, and preliminary or final publication layout designs must be mailed with your application supporting materials. See Attachment Checklist at the end of the application for more information about documentation requirements.

(Please note the value/amount expended for each and the dates of completion):

	Activity Description	Date Completed	Cost/Value
1	Architectural plans and specifications	2003	\$60,000.00
2	Updated plans to comply with 2004 edition of the Florida Building Code	2008	\$22,625.00
3	Demolition of Breezeway	2009	\$6,000.00
4	New Wood Shake Roof	2009	\$106,000.00
5	Repair/Replace Wood Shake Siding	2009	\$22,368.00
6	Renovated and Repair Front Porch	2009	\$50,571.00
7	Replacement of Seven Windows w/ Lexan Panels	2009	\$40,320.00
8	Thermal & Moisture Protection	2009	\$128,368.00
9	Construction Management	2009	\$62,097.00
Totals			\$498,349.00

15. Project Budget

Important: In listing the items to be paid with both grant funds and matching funds, please remember:

1. The following categories of expenditures are non-allowable for expenditure of grant funds or as contributions to required match:
 - o Capital improvements to non-historic properties.
 - o Capital improvements to historic properties not consistent with applicable preservation standards promulgated by the National Park Service, United States Department of the Interior, and the Division of Historical Resources for the types of projects indicated. The National Park Service Standards are available at http://www.nps.gov/history/local-law/arch_stnds_0.htm.
 - o Vehicular circulation (drives) and parking; sidewalks, landscape features, planting, irrigation systems and site lighting (Exceptions: provision of code-required handicapped parking pad andwalkway; sidewalk required to link code-required handicapped parking pad to the accessible entry, planting required to halt erosion, and limited site lighting required for security.)
 - o Expenditures for Furniture and Equipment, unless specifically authorized during the application review process.
 - o Food, beverages, plaques, awards, or gifts.
 - o Grantee operational support (i.e., organization salaries, travel, supplies). Note: project-specific travel costs may be allowed if requested and approved during the application review process. To be eligible for grant assistance or as a contribution to the required match, travel costs must be required for completion of project work and must be included in the Project Budget.
 - o Indirect costs including overhead, non-grant related administrative costs and general operating costs. Administrative expenditures that are directly attributable to management and oversight of the grant-assisted Project and to meeting the reporting and associated requirements of the Historic Preservation Grant Award Agreement are eligible grant expenditures or match contributions. In aggregate, such expenditures, whether grant expenditures or match contributions, shall not exceed 10% of the grant award amount.
 - o Insurance costs (Exception: costs for builder's risk, workers compensation and contractor's liability insurance).
2. All grant and match expenditures must be incurred during the grant period, except as allowed in 1A-39.009(3), Florida Administrative Code. Unless approved by the Division in writing in accordance with 1A-39.009(3), costs incurred prior to the grant period will not be eligible for payment with grant funds or eligible to be credited as part of the grantee's matching share. No costs incurred after the grant period has expired will be eligible for payment with grant funds or eligible to be credited as part of the grantee's matching share.
3. Eligible Development activities involving a building or portion of a building used as a place of worship are limited to exterior activities and only those interior activities that are essential to the preservation of basic structural integrity (Examples include: foundation repairs, repairs to columns, load bearing wall framing, roof framing, masonry repairs, and window and exterior door repairs.) Non-allowable costs include capital improvements to the interior and accessibility improvements for places of worship.
4. In general, if an item or activity is not considered an allowable grant-funded expense, it will not be allowed as part of the applicant's match.
5. Should you have questions regarding the eligibility for a specific activity for grant funding or contribution to match, please contact the Division's grants staff at 1-800.847.7278.
6. [Examples of completed Project Budgets . \(PDF\)](#)

a) Project Budget

Note: Total must be the same as the corresponding amounts indicated in Questions 4a and 4b.

	Description	Grant Funds	Match Type	Match Value	Sub-Total
1	Replacement/restoration historic windows	\$48,500.00	Cash	\$48,500.00	\$97,000.00
2	Lexan Panels	\$1,500.00	Cash	\$1,500.00	\$3,000.00
Totals		\$50,000.00		\$50,000.00	\$100,000.00

b) Budget Work Clarification

Where the relationship between specific Work Items in the Project Budget and the objectives of the project may not be obvious, please provide clarification regarding the necessity for or contribution of those Work Items to the successful completion of the project.

Work Item	Clarification
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16. Match Summary

Matching funds may include: cash funds, the value of in-kind services or labor directly involved in project work, and the value of donated materials. 25% of the match must be cash.

In-kind services may include salary and benefits but not overhead costs or profit. In-kind service or labor should be valued at the prevailing minimum wage unless it is documented that the donor is performing services or labor in which he or she is regularly employed at a higher prevailing wage. Donated material must be valued at the actual cost.

Public funds must be identified by source: e.g. appropriated funds, Community Development Block Grant funds, etc. Major private donations, such as foundation grants, should be clearly identified.

Non-allowable match contributions include:
Expenditures made prior to grant award agreement start date, except as allowed in 1A-39.009(3), Florida Administrative Code.
Anticipated proceeds from fundraising activities.
Grant funding from other sources applied for but not yet awarded.
Cash pledges without donor signature (Anonymous pledges are not acceptable match contributions).
Other grant funds from the Department of State.

a) Cash

Type of Contribution (Include brief description)	Amount/Value
1 DuBois Park Capital Budget	\$50,000.00
Totals	\$50,000.00

b) In-Kind Services and Labor

Type of Contribution (Include brief description)	Amount/Value
Totals	\$0.00

c) Donated Materials

Type of Contribution (Include brief description)	Amount/Value
1 Not applicable	\$0.00
Totals	\$0.00

17. Property Ownership

Enter name of the Property Owner and choose the appropriate owner type. If applicant is not the owner of the property, the applicant must secure owner concurrence if the proposed project is site-specific (see Question 32 Owner Concurrence Certification).

a) Current Owner

Palm Beach County Board of County Commissioners

b) Type of Ownership

Governmental Agency

18. Threats to the Property

Provide a brief explanation of Immediate Threats to the historic property, site or area such as proposed demolition, extensive structural damage, on-going site disturbance for archaeological sites, planned re-zoning, etc. (1,500 character limit)

The Dubois Pioneer Home is located on an Indian midden overlooking the Jupiter Inlet with a view of the Atlantic Ocean. The pioneer home and the surrounding property was acquired by Palm Beach County in 1971 for use as a public park. The pioneer home was used as a caretaker's residence from 1971 through 1977 when it was converted to a public history museum operated by the Loxahatchee River Historical Society. The museum and exhibits became more susceptible to damage from wind and water as a result of damage from a recent string of hurricanes. These storms have taken a toll on this important piece of history resulting in a need for exterior repairs. In the spring of 2009, Palm Beach County completed over \$450,000 in exterior renovation project including replacing the roof and repairing/replacing the wood shake siding to secure the exterior of the home. The exterior renovations are complete with the exception of renovation/replacement of the 25 remaining windows, many of which are 1950's aluminum awning type windows. The new windows will be historic replicas and will be further protected using Lexan panels. These windows were part of the original renovation project, but due to unforeseen circumstances (excessive deterioration) there was not adequate funding in place to replace all 32 windows. Palm Beach County recognizes the importance of preserving this property and changed the land Use Designation to Park and changed the Zoning Designation to PO – Public ownership. In addition, the property is listed on the National Registry of Historic Places and on October 17, 2007, the County created the DuBois Park Historic District. These legal changes to the property help to assure that the property will be preserved for future generations.

19. Property or Site Significance (For All Acquisition, Development or Site-Specific Archaeological Projects)

a) For Historic Structures and Archaeological Sites, enter the Florida Master Site File (FMSF) Number (ex. 08ES1234)

Note: The applicant is responsible for ensuring that all information in the current FMSF form is complete and accurate. If a FMSF form for the property does not currently exist, the applicant is responsible for completing and filing a form and providing the required map and photograph(s). For information and assistance contact the FMSF staff at Florida Master Site File / Phone: 850.245.6440 or 800.847.7278.

08PB34A&B

b) For Historic Property, Date of the Original Construction (mm/dd/yyyy)

1898

c) For Historic Property, Date(s) and Description of Major Alterations (300 character limit)

The home was built in 1898, and in 1903, a second story was added and in 1937 a chauffeur's quarters was added to the rear of the house with an enclosed breezeway. At some point the second floor windows and those in the kitchen were modernized and replaced with aluminum awning windows.

d) Original Use of Historic Property

Single Family Home

e) Current Use of Historic Property

History Museum

f) Proposed Use of Historic Property

History Museum

g) For Archaeological Sites, Provide the Cultural Affiliation of the Site and Dates of Use or Occupation (300 character limit)

The site has been occupied from the Late Archaic Period thru Glades Periods I, II, & III. The historic tribe that occupied the site is recorded as being the Jega Indians. The site has been occupied from 3000 B.C. - 1700 A.D.

h) Please explain the historic significance for the property/site (1,500 character limit)

Palm Beach County is unique to most of Florida and the U.S. in that it is a relatively new County. The majority of the structures in the County were constructed less than 40 years ago; in fact, in 1920 Palm Beach County had less than 20,000 residents as compared to almost 1.3 million today. Palm Beach County has less than twenty structures still in existence that were built before the turn of the century, and it is imperative the County preserve its handful of remaining historic structures. Harry DuBois moved to Palm Beach County in 1892 and bought land to raise pineapples. In February 1898, Harry and the new school teacher, Susan Sanders, met on a blind date, and married later that year. In 1899 Harry built his home on top of a Native American Midden for his bride. This pioneer family engaged in many home based ventures including hauling freight by boat, making and selling guava jelly, raising bees, and running a fish camp and restaurant. The 1928 hurricane flooded the upstairs and holes had to be drilled in the floor to drain off the water. During the 1930's, the house was a retreat for underprivileged children who came for two weeks of fishing. The year 2008 represented the 110th anniversary of this house. The Loxahatchee River Historical Society has provided public tours of the pioneer home as a local history museum with period furniture and displays since 1977. Recent hurricane damage has forced a temporary closing of the museum until repairs are complete.

20. Historical Designation

Indicate the type of historical designation currently held by the historic property or site. For properties or sites that have been listed in the National Register or are contributing properties or sites within a National Register District, please provide the date that the property, site or district was listed.

Historical Designation

Indicate each type of **Historical Designation** currently held by the project historic property or site:

Individual National Register Listing

Local Designated District -Contributing Resources

If you checked Individual National Register, please list the date the property was registered. (mm/dd/yyyy)

11/05/1985

If you checked National Register District - Contributing Resources, please specify the Name of the District.

Not applicable

Date of District Listing (mm/dd/yyyy)

Not applicable

If you checked Individual Local Designation, please specify the Date Designated (mm/dd/yyyy)

Not applicable

If you checked Locally Designated District - Contributing Resources, please specify the name of the District

DuBois Park Historic District

Date of District Designation (mm/dd/yyyy)

10/17/2007

21. Local Protection

Indicate the level(s) of local protection currently afforded the project historic property or site.

Local Ordinance Design Review

Other

Please specify if you checked Other

County's Historic Preservation Ordinance requires a (COA) or (CTD) Prior to modifications

22. Annual Visitation

a) What is the estimated or anticipated Annual Visitation for the project property or site?

10,000

b) What is the basis of this estimate? (200 character limit)

Loxahatchee River Historical Society has operated the pioneer home as a museum with period furniture and displays since 1977. The annual visitation is based on records kept by the historical society on the number of people touring the museum as well as children attending summer camp.

23. Direct Economic Impact

Provide a brief explanation of the **Direct Economic Impact** this project will have on the surrounding community. Include any information regarding number of jobs it will provide, if known. (1,500 character limit)

The DuBois Pioneer Home is a main tourist destination in northern Palm Beach County and is recommended as a museum to visit on many national and international websites. According to Palm Beach County's Tourism Development Council, 4.4 million tourists visited Palm Beach County in 2006, resulting in \$2.7 billion in economic impact and creation of 54,000 jobs. Research shows that 44.4% of the State's 85 million visitors participated in history-based activities. On average these visitors stay longer and spend more money than other kinds of tourists. According to "Arts & Economic Prosperity III" by Americans for the Arts published in 2007, nonprofit arts and culture are a significant industry in Palm Beach County. They generate \$209.06 million in local economic activity and support the equivalent of 4,812 full-time jobs, generating \$97.24 million in household income. "62 percent of the 4.4 million nonprofit attendees were local; 38 percent were non-local." Non-local arts and culture event attendees spent an average of 48 percent more than local attendees per person. Spending by arts and culture audiences' pump vital revenue into local restaurants, hotels, retail stores, parking garages and other businesses.

24. Cost of Maintenance

What is the anticipated annual **cost of maintenance** of the subject historic property or archaeological site upon completion of the project, and what is the **source of the funding?** (500 character limit)

The Pioneer Home will be maintained by the Palm Beach County Parks and Recreation Department using ad valorem taxes. Once the renovations are complete, it is anticipated it will cost approximately \$5,000 annually to maintain the house and property. The Palm Beach County Parks and Recreation Department's Maintenance Division has 308 full time employees and a \$31,666,035 operating budget, and is committed to the continued maintenance of this historic property.

25. Benefit to Minorities and the Disabled

Briefly describe any **direct benefit** the project will have on **minority groups and/or the disabled**. Include any alterations to the site that will make the site more accessible to the public. (1,500 character limit)

The DuBois Pioneer Home is built atop an Indian midden and has never been ADA accessible for obvious reasons. Phase I renovations are being completed to make the museum structurally sound and to provide protection during storm events. Phase II renovations will focus on restoring the interior and will include an ADA accessible wheelchair ramp, providing access to the first floor of the home. The doorways and hallway will be modified where needed to accommodate wheelchair access, while preserving the historic nature of the property. Phase II renovations are subject to the availability of funding. The DuBois Pioneer Home is a history museum which focuses on early pioneer life in Palm Beach County. The museum also has information on the Indian midden and Indian life in the area.

26. Educational Benefits

Provide a brief description of the **educational benefits** of this project. Explain how the project will enhance public awareness of historic preservation, Florida history, or heritage to the local community and the state at large. (1,500 character limit)

One of the few remaining historic South Florida homesteads, the DuBois Pioneer Home is a popular tourist site with formal tours offered to the public several days a week. These tours detail family life and describe subsistence methods used by the DuBois family during the late 1800's through the 1930's. Period furnishings, personal objects, tools and equipment utilized by the family are also on display. First person historical accounts recorded by local residents are presented to visitors describing local life in the Jupiter Inlet Area. Funding from this grant will help secure and restore the remaining unfinished windows of the structure so that the museum can reopen and visitors may continue to tour the home and learn about historic lifestyles and events that have helped shape Palm Beach County. The project itself will provide educational opportunities for local university students to view historic preservation techniques during field trips. In addition, the Loxahatchee River Society holds several one week long eco-history summer camps at the DuBois Pioneer Home for children ages 8 – 12. The camp teaches children about pioneer life and the history of the Jupiter Inlet area. The museum is currently closed until renovations are complete.

27. Organization Information

a) Organization Name

Palm Beach County Parks and Recreation

b) Address

2700 6th Avenue South

c) City

Lake Worth

d) State

Florida

e) Zip

33461

f) Type of Applicant

Certified Local Government

g) Organization/Entity Years in Existence

100 years

h) Name and Title of Organization's Chief Officer

Robert Weisman, County Administrator

i) Chief Officer's Email Address

rweisman@pbcgov.org

j) Applicant Organization's Federal Employer ID No.

596000785

k) SAMAS No. (State Agencies ONLY)

Not applicable

l) Ending Date Applicant Organization's Fiscal Year (e.g., June 30)

September 30

m) Applicant Organization's Web Site

<http://www.pbcgov.com/parks/>

28. Designated Project Manager

The **Project Manager** is the applicant organization's primary contact for the application review process. In addition to being available to answer questions from Division of Historical Resources staff regarding the proposed project and application, the Project Manager is usually the individual who will be administering the project, if it is funded. Please provide the designated Project Manager's name, address, daytime phone number, FAX number and e-mail address in space provided.

a) Name

Jean Matthews

b) Address

2700 6th Avenue South

c) City

Lake Worth

d) State

Florida

e) Zip

33461

f) Daytime Telephone No.

561-966-6652

g) Ext

N/A

h) Fax Number

561-963-6747

i) Email Address

jmatthew@pbcgov.org

29. Project Area Population and Representation

Indicate the population of the community and county where the project is located as determined by most recent edition of "Florida Estimates of Population." This information is available at your public library.

a) Community City Population ([Find](#))

49,783

b) County Population ([Find](#))

1,294,654

Please provide the information requested regarding state legislative and congressional representation for the project location. Use the link provided for assistance in finding your legislative information. **Be careful to provide accurate and current information.**

c) State House of Representatives District Number and Name of Representative for Project Location. ([Find](#))

1) House of Representatives District Number(s)

83

2) Representative Name

Carl J. Domino

d) State Senate District Number and State Senator for the Project Location ([Find](#))

1) Senate District Number(s)

28

2) Senator Name

Joe Negron

e) Congressional District Number of U.S. Congressional Representative for the Project Location ([Find](#))

1) Congressional District Number(s)

16

2) Congressman Name

Thomas Rooney

30. Applicant Grant Experience and History

Please provide the following information regarding the applicant's previous grant assistance from the Department of State, other granting entities, and current administrative support. Please use our [Grant History Online Search Tool](#) to find this information.

a) Has the applicant received previous grant assistance from the Department of State in the past five years? If yes, specify the year of the grant period, the project name, the Division that awarded the grant, the amount of the award and current status.

Year	Grant No.	Project Name	DOS Division	Amount	Open/Closed
1	1991 S1053	Palm Beach County Archaeological Survey	Historical Resources	\$15,000.00	Closed
2	1991 S1092	Canal Point/Lake Harbor Plan	Historical Resources	\$8,000.00	Closed
3	1992 S2014	Glades Area Booklet	Historical Resources	\$3,250.00	Closed
4	1994 F9404	Palm Beach County Designation Reports	Historical Resources	\$15,000.00	Closed
5	2003 S3076	Palm Beach County Archaeological Survey	Historical Resources	\$25,000.00	Closed
6	2003 S3014	DuBois Pioneer Home	Historical Resources	\$30,000.00	Closed
7	2004 SC533	1916 Courthouse Restoration, Phase I	Historical Resources	\$300,000.00	Closed
8	2004 SC632	1916 Courthouse Restoration, Phase II	Historical Resources	\$350,000.00	Closed
Totals				\$746,250.00	

b) Has the applicant received previous grant assistance from entities other than the Department of State within the past five years? If so, please specify the year of the award, the project name, the entity that awarded the grant, the amount of the award and current status.

Year	Project Name	Granting Entity	Amount	Open/Closed
1	2004 Burt Reynolds Park Improvements	Florida Inland Navigation District	\$400,000.00	Closed
2	2004 Phil Foster Development	Florida Inland Navigation District	\$720,000.00	Closed
3	2004 Riverbend Hydrologic Restoration	SFWMD	\$375,000.00	Closed
4	2005 Santaluces Athletic Complex	FRDAP	\$200,000.00	Closed
5	2006 Burt Reynolds Park	FIND	\$806,750.00	Closed
6	2007 Light Harbor Park	Florida Fish & Wildlife	\$500,000.00	Closed
7	2007 Light Harbor Park	FIND	\$987,000.00	Closed
8	2008 DuBois Water Taxi	MPO - FDOT	\$100,000.00	Open
9	2006 Zeke's Marina Acquisition	Florida Communities Trust	\$1,800,000.00	Closed
10	2008 Westgate Park - Splash Playground	HCD - block grant	\$152,000.00	Open
11	2009 Zeke's upland restoration	NOAA	\$50,000.00	Open
12	2009 John Prince Campground	National Park Service - LWCF	\$200,000.00	Open
13	2007 John Prince Park Square Lake	Florida DEP- FRDAP	\$135,611.00	Closed
14	2008 John Prince Campground - sewer	Florida DEP	\$200,000.00	Open

15	2009	DuBois Day Dock & Snorkeling reef	FIND	\$987,000.00	Open
16	2009	DuBois Day Dock & Snorkeling reef	Florida Fish & Wildlife	\$500,000.00	Open
17	2006	Glades Pioneer Park Pool	FRDAP	\$200,000.00	Closed
18	2007	Glades Pioneer - Splash Park	FRDAP	\$200,000.00	Closed
19	2009	Riverbend Park Trail	FL DEP - Office of Greenways	\$240,000.00	Open
20	2009	Riverbend Battlefield Protection	National Park Service	\$40,790.00	Open
Totals				\$8,794,151.00	

c) Please list those persons who will be directly involved with the administration of the grant. This will include the Project Manager listed in Question 28 and all other individuals who will have a role in grant administration. Please list below the individuals' names, roles or titles within the applicant organization (if applicable), percentage of dedicated work time to grant administration, and anticipated duties.

Name	Role or Title	Percentage of Time	Duties
1 Jean Matthews	Senior Planner	10%	Real Estate/Grants
2 Karen Arndt	Project Manager	50%	Construction Oversight
3 Christian Davenport, MA, RPA	County Historic Preservation Officer / Archeologist	30%	Construction Oversight

d) Were any of the individuals listed in c above, involved with the administration of previous grants listed in questions a or b? If so, please indicate which grant(s) and briefly describe their administrative responsibilities. Also, describe any additional grant experience they have in the space below. (1,000 character limit)

Jean Matthews, Senior Planner with PBC Parks & Recreation took over grant writing for the department in 2005: Jean has both written and administered grants for the past four years. Jean has been involved in all twenty grants listed in question "b". Karen Arndt, Project Manager with PBC Capital Improvement Division: Karen is responsible for developing bid documents, overseeing budgets, bonding requirements, and overseeing day to day construction. Christian Davenport, PBC's Historic Preservation Officer / Archeologist: Chris joined the County in 2005, and been instrumental in helping write Historic grants since joining the County. Mr. Davenport personally handles the monitoring requirements for several of the County's projects when required by federal, state or local historic preservation ordinances. In addition, on a personal level Chris and his wife restored their 1788 Maryland home, prior to moving to Florida. Chris has the education, background and experience to assure that the window renovation project will be completed appropriately.

31. Applicant Certification

This certification must be filled out and signed by the duly authorized representative of the applicant organization before the application will be considered for funding assistance. Please note the original of the application is the copy that bears the authorized person's original signature for this and all other applicable Certifications.

I certify that the information contained in this application is true and correct to the best of my knowledge, and that I am the duly authorized representative of the applicant.

a) Name

Commissioner Burt Aaronson,

b) Title

Chair

c) Name of Agency or Organization

Palm Beach County Board of County Commissioners

32. Owner Concurrence Certification

If the applicant does not own the property, the owner of record must sign the following statement indicating concurrence with the proposed project and this application for grant assistance.

I, the undersigned, am the owner of the property identified under Question 17, Property Ownership, of this application and hereby acknowledge my support for and full concurrence with this application.

a) Name

Not applicable

b) Title

Not applicable

c) Address

Not applicable

d) City

Not applicable

e) State

Florida

f) Zip

N/A

g) Daytime Telephone

Not applicable

h) FAX Number

Not applicable

i) E-mail Address

Not applicable

33. Agreement to Execute Preservation Agreement

(ACQUISITION & DEVELOPMENT)

For projects involving historic properties and those involving archaeological sites that will be maintained subsequent to the completion of the project, the owner, long-term lessee or other responsible party must sign the following statement indicating agreement to execute a five (5) year Preservation Agreement containing the provisions outlined below should a grant award be made.

I, the undersigned, am the duly authorized representative of the

owner

having responsibility for maintenance of the property identified under Question 15a, Property Ownership, of this application subsequent to completion of the project for which funding is requested. I hereby indicate agreement to execute Preservation Agreement (for other than real property) through which the organization or agency I represent will commit to maintenance of the referenced property in accordance with good preservation practice and the applicable standards and guidelines of the Secretary of the Interior for a period of five years. I further agree that the organization or agency will not make any modifications to the property during the term of the preservation agreement (other than routine repairs and maintenance) without review of the plans and specifications by the Bureau of Historic Preservation and that every effort will be made to design any modifications in a manner consistent with the applicable standards and guidelines of the Secretary of the Interior.

a) Name

Burt Aaronson

b) Title

Chair, Palm Beach Board of County Commisioners

c) Address

301 N. Olive Avenue

d) City

West Palm Beach

e) State

Florida

f) Zip

33401

g) Daytime Telephone

561-355-2205

h) FAX Number

561-355-3990

34. Project Archaeological Impact (To be Completed for All Acquisition and Development Projects)

Consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards), significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

a) Will your project involve ground disturbance

(Examples of ground disturbance include: historic building or structure relocation, grading and site work, installation of sewer and water lines, subgrade foundation repairs or dampproofing, construction requiring construction of new foundations, installation of landscape materials.)

No (Proceed to Save Changes)

b) Acknowledgement of Responsibility to Protect Archaeological Resources.

I, the undersigned, am the owner or duly authorized representative of the owner of the property identified under Question 17 and hereby accept responsibility for ensuring that significant archaeological resources are protected in the course of the proposed project and, if it is unavoidable that such resources are affected by the work, the organization that I represent will accept responsibility for development in consultation with the Division of Historical Resources and implementation of an appropriate mitigation plan for the treatment of those resources.

1) Owner/Representative Name

Not applicable

2) Title

Not applicable

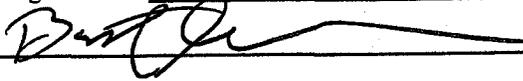
For Relocation Projects: If the Project involves relocation of a historic building or structure from its historic site, plans must include an archaeological survey of the original and new sites. This requirement should be reflected in the Project Budget and scope of work unless it is to be accomplished prior to the initiation of the grant-assisted work. Exemption from this requirement will be considered by the Division on a case-by-case basis.

Possible Sources of Assistance: With prior written approval from the Division, archaeological consulting services costs required to identify and evaluate archaeological resources in areas of ground disturbance, and if determined to be necessary for compliance with the Standards, costs required to carry out the provisions of an approved mitigation plan, will be eligible for grant expenditure or contribution to the required match. Assistance with any required archaeological investigation may be available from one of the regional offices of the Florida Public Archaeology Network (FPAN). Information about FPAN and contact information is available at <http://www.flpublicarchaeology.org/>. Another possible source of assistance is the nearest Florida university with an archaeology program in its anthropology department.

CERTIFICATIONS

27) **Applicant certification:** This certification must be signed by the duly authorized representative of the applicant organization or agency before the application will be considered for funding assistance.

I certify that the information contained in this application is true and correct to the best of my knowledge, and that I am the duly authorized representative of the applicant.

Name (type or print) Commissioner Burt Aaronson Title Chair
Agency or organization Palm Beach Board of County Commissioners
Signature  Date 12-15-09

28) **Owner concurrence:** If the applicant does not own the property, the owner of record must sign the following statement indicating concurrence with the proposed project and this application for grant assistance.

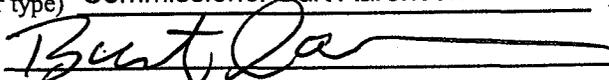
I, the undersigned, am the owner of the property identified under item 8) Project Information on Page Two of this application and hereby acknowledge my support for and full concurrence with this application.

Name (print or type) Commissioner Burt Aaronson Title Chair PBC Board of County Commissioners
Signature  Date 12-15-09
Address 301 N. Olive Avenue
City West Palm Beach State FL Zip 33401
Daytime telephone 561-355-2205 FAX Number 561-355-3990

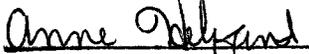
29) Agreement to Execute Preservation Agreement (ACQUISITION & DEVELOPMENT OR SITE SPECIFIC ARCHAEOLOGICAL PROJECTS ONLY):

For projects involving historic properties and those involving archaeological sites which will be maintained subsequent to the completion of the project, the owner, long-term lessee or other responsible party must sign the following statement indicating agreement to execute a 5 year preservation agreement should a grant award be made.

I, the undersigned, am the duly authorized representative of the Palm Beach County Board of County Commissioners, having responsibility for maintenance of the property identified under item 8) Project Information on Page Two of this application subsequent to completion of the project for which funding is requested. I hereby indicate agreement to execute a preservation agreement through which the organization or agency I represent will commit to maintenance of the referenced property in accordance with good preservation practice and the applicable standards and guidelines of the Secretary of the Interior for a period of five years. I further agree that the organization or agency will not make any modifications to the property during the term of the preservation agreement (other than routine repairs and maintenance) without review of the plans and specifications by the Bureau of Historic Preservation and that every effort will be made to design any modifications in a manner consistent with the applicable standards and guidelines of the Secretary of the Interior.

Name (print or type) Commissioner Burt Aaronson Title Chair
Signature  Date 12-15-09
Address 301 N. Olive Avenue
City West Palm Beach State FL Zip 33401
Daytime telephone 561-355-2205 FAX Number 561-355-3990

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY


COUNTY ATTORNEY

ATTACHMENT CHECKLIST

All attachments must be labeled and included with the final printed materials to be submitted to the Bureau of Historic Preservation. All applications must be postmarked by the deadline of **December 15, 2008**. If this date falls on a weekend, the deadline will be extended to the following business day.

30. **ATTACHMENT CHECKLIST:** Please review this listing and provide the applicable information. Please indicate which labeled attachments have been included in the application. All attachments should be printed on 8 1/2" by 11"
- Attachment A: Civil Rights Assurance of Compliance form:** This form has been provided and must be executed by the authorized person for all applications.
- Attachment B: Documentation of Confirmed Match:** This attachment must contain documentation of all match listed in Question 25. Documentation should include:
- **For Commitments of Cash Resources:** A letter from the head or executive director of the applicant organization stating that the funds have been reserved and committed to the project. For local governments, a copy of the City Commission or Board of County Commissioners Resolution committing the funds may be attached.
 - **For Commitments of In-Kind Services, Donated Services, or Materials:** A detailed explanation of services or materials to be provided including a justification of the value assigned to the services or materials, an explanation of how those services will be used to fulfill the objectives of the project, and the numbers of work hours being pledged must be included. A signed statement from the individual or entity making the commitment must verify each commitment. Note that the per hour value for donated services must be calculated at the Minimum Wage at the time of contribution unless a higher rate can be justified based on education, skills or training possessed by the donor. For example, a professional carpenter may donate time for carpentry services at their normal rate, or document the amount of their normal fee they are donating to the project. Documentation must be submitted for all commitments of in-kind services, donated or volunteer services or donated materials.
 - Match that is not adequately documented will be disallowed and the amount represented will be deducted from the applicant's match.
- Attachment C: Letters of Support, Endorsement, or Resolutions:** In this attachment you should provide letters of support from your Legislative Delegation, community leaders, and local citizens. The purpose of the attachment is to show support for expenditure of public funds for your project. Individual letters are preferred. Form letters are discouraged and typically do not evidence genuine local support for the proposed project. The number of letters submitted should not overwhelm the application in terms of volume. In most cases, 10 to 20 letters of support are sufficient for an applicant to make the case of broad community or

regional support for the project. Letters should be addressed to the Director, Division of Historical Resources, c/o Bureau of Historic Preservation, Grants and Education Section, 500 South Bronough Street, Tallahassee, FL, 32399-0250. Please note that letters of support received by this office, independent from the application or after the application cycle deadline, will be filed with the original version of the application which is retained by the Bureau of Historic Preservation. Such letters will not be transmitted to the reviewing body or collated into the application copies, but will be available to the reviewing body during its meeting. ***Please list the following information for each letter received:**

- Attachment D: Printed photographs showing existing conditions of the property or site:** The photos should be clear enough for reviewers to see the details. Poor quality photocopies should not be submitted. For Acquisition and Development Projects, minimum requirements include all exterior elevations, interior spaces and significant architectural features. Label photos as to the location and date.

- Attachment E: A digital photograph showing the principal view of the subject property or an image that conveys the purpose of the project.** This image will be shown in the public meeting when the Grant Review Panel or Florida Historical Commission is reviewing your project. This image **must** be in either JPG or TIFF format (minimum of 600x800 dpi) and burned to a CD-R or CD-RW.

- Attachment F: If completed, architectural project schematics or construction documents (ONE SET ONLY) (ACQUISITION AND DEVELOPMENT PROJECTS):** If your restoration/rehabilitation project has had architectural documents prepared, attach one set as **Attachment F** to the original application. **Documents must be at least 24" x 36"** and all text must be clearly readable.

- Attachment G: Copy of Florida Master Site File Form:** All site-specific projects must attach a copy of this form. If your historic building or archaeological site has not been recorded in the Florida Master Site File and you need assistance in recording your project site, you may contact the Florida Master Site File at (850) 245-6440, or you can visit the Florida Master Site File web site at <http://dhr.dos.state.fl.us/msf/> to learn more about the site file functions and download site file forms for recording your site. For properties not previously recorded, please send the completed form directly to the Florida Master Site File at the Bureau of Historic Preservation address and include a copy of the form with this application.

- Attachment H: For Acquisition projects only:** an independent appraisal (two appraisals are required if the value of the first appraisal exceeds \$500,000), an ownership and encumbrance search, an executed option or purchase agreement, property survey, and a copy of a professional archaeological survey if the property is being proposed for purchase as a significant archaeological site. This attachment only applies to projects that are seeking funds to acquire historic or archaeological properties. ***Please check all included for attachment H:**
 - APPRAISAL(S)
 - PURCHASE AGREEMENT
 - TITLE/OWNER SEARCH
 - CERTIFIED LAND SURVEY

ARCHAEOLOGICAL SURVEY REPORT

- Attachment I: For historic marker projects only: Florida Historic Marker Application Form No. HR3E171294 and verification of review and approval by the Florida Historic Marker Council:** This attachment only applies to entities seeking matching funds to assist in the purchase of a Florida Historic Marker. Questions regarding the Historic Marker Program should be directed to the Marker Coordinator, (850) 245-6333. Additional information on the Division of Historical Resources Marker Program can be accessed at: <http://dhr.dos.state.fl.us/bhp/markers/>.
- Attachment J: For non-profit organizations only, documentation of non-profit status:** This attachment applies to all non-profit organizations seeking funding. Information on entities registered with the Florida Department of State's Division of Corporations can be viewed at: <http://www.sunbiz.org>
- Attachment K: Optional Attachments:** Applicants may use this attachment to add materials that support the application that have not been specifically requested by the Division of Historical Resources. An optional attachment may consist of examples of previous work or information about the site such an informational brochure. We will make an effort to accommodate other sizes of materials in this category, but items will need to be sized reasonably for digital scanning. ***Please list (with a short description) all included Optional Attachments.**

I have read and understood the above and have included all documentation in the appropriate format.

Burt Aaronson
Printed Name

Chair, Board of County Commissioners
Title

Burt Aaronson
Signature

12-15-09
Date

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

Anne Delgado
COUNTY ATTORNEY

ATTACHMENT A

U.S. DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE
CIVIL RIGHTS ASSURANCE OF COMPLIANCE

_____ (hereinafter called "Applicant-Recipient") hereby agrees that it will comply with Title VI of the Civil Rights Act of 1964 (P.L. 88-352) and all requirements imposed by or pursuant to the Department of the Interior Regulations (43 CFR 17) issued pursuant to that title, to the end that, in accordance with Title VI of the Act and the Regulations, no person in the United States shall, on the grounds of race, color, or national origin be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which the Applicant-Recipient receives financial assistance from the Florida Department of State and hereby gives assurance that it will immediately take any measures to effectuate this agreement.

The Applicant-Recipient also agrees to comply with Section 504 of the Rehabilitation Act of 1973 and the Age Discrimination Act of 1975 and all requirements imposed by or pursuant to the Department of the Interior Regulations (43 CFR 17) issued pursuant to these titles, to the end that, no person in the United States shall, on the grounds of disability or age be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which the Applicant-Recipient receives financial assistance from the National Park Service and hereby gives assurance that it will immediately take any measures to effectuate this agreement.

If any real property or structure thereon is provided or improved with the aid of Federal financial assistance extended to the Applicant-Recipient by the Florida Department of State, this assurance obligates the Applicant-Recipient, or in the case of any transfer of such property, any transferee for the period during which the real property or structure is used for a purpose involving the provision of similar services or benefits. If any personal property is so provided, this assurance obligates the Applicant-Recipient for the period during which it retains ownership or possession of the property. In all other cases, this assurance obligates the Applicant-Recipient for the period during which the Federal financial assistance is extended to it by the Florida Department of State.

This assurance is given in consideration of and for the purpose of obtaining any and all Federal grants, loans, contracts, property discounts or other Federal financial assistance extended after the date hereof to the Applicant-Recipient by the bureau or office, including installment payments after such date on account of arrangements for Federal financial assistance which was approved before such date. The Applicant-Recipient recognizes and agrees that such Federal financial assistance will be extended in reliance on the representations and agreements made in this assurance, and that the United States shall reserve the right to seek judicial enforcement of this assurance. This assurance is binding on the Applicant-Recipient, its successors, transferees, and assignees, and the person or persons whose signature appears below are authorized to sign this assurance on behalf of the Applicant-Recipient.

12-15-09
Dated


Applicant-Recipient

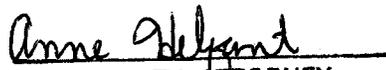
Commissioner Burt Aaronson, Chair

By Palm Beach Board of County Commissioners
(President, Chairman of Board or
Comparable authorized Official)

APPLICANT-RECIPIENT'S MAILING ADDRESS

301 N. Olive Avenue
West Palm Beach, FL 33401

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY


COUNTY ATTORNEY



County Administration

P.O. Box 1989

West Palm Beach, FL 33402-1989

(561) 355-2030

FAX: (561) 355-3982

www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

Burt Aaronson, Chair

Karen T. Marcus, Vice Chair

Jeff Koons

Shelley Vana

Steven L. Abrams

Jess R. Santamaria

Priscilla A. Taylor

County Administrator

Robert Weisman

*"An Equal Opportunity
Affirmative Action Employer"*

Official Electronic Letterhead

December 14, 2009

Mr. Scott M. Stroh, Director
Division of Historical Resources
500 South Bronough Street
Tallahassee, Florida 32399-0250

**RE: DuBois Pioneer Home Special Category Historic Preservation
Grant**

Dear Mr. Stroh:

On September 21, 2009, the Palm Beach County Board of County Commissioners officially adopted the County's FY 2010 Five Year Capital Improvement Program. This Capital Improvement Program covers fiscal years 2010 through 2014. There is currently \$50,000 available for the grant match in the FY2010 capital budget for improvements to the DuBois Pioneer Home.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert Weisman".

Robert Weisman
County Administrator

*The
City
of
West Palm Beach*



**HISTORIC PRESERVATION DIVISION
PLANNING DEPARTMENT**
401 Clematis Street
West Palm Beach, Florida 33401
(561) 822-1435
Fax (561) 822-1460

"The Capital City of the Palm Beaches"

Mr. Scott M. Stroh, Director
R.A. Gray Building, Room 305
500 South Bronough Street
Tallahassee, Florida 32399-0250

December 9, 2009

Dear Mr. Stroh:

I am writing in support of the Palm Beach County Board of County Commissioners' Historic Preservation Small Matching Grant fund application for the continued restoration of the DuBois Pioneer Home.

As a resident and preservationist in Palm Beach County I feel strongly that this structure is in need of completion so the public may enjoy and learn from it.

The DuBois house, built in 1898, is a historic property of major significance to Palm Beach County and the State of Florida. The house communicates the story of early settlers in south Florida. The property is also associated with archaeological deposits of significance to our understanding of history and prehistory. The property is listed on the National Register of Historic Places.

Please do not hesitate to contact me for more information at (561) 822-1457.

Thank you for your help.

Sincerely,

Friederike H. Mittner, AICP
City Historic Preservation Planner



FLORIDA ATLANTIC UNIVERSITY
DOROTHY F. SCHMIDT COLLEGE OF ARTS AND LETTERS
Anthropology
777 Glades Road • P.O. Box 3091
Boca Raton, Florida 33431-0991

December 8, 2009

Mr. Scott M. Stroh, Director
R.A. Gray Building, Room 305
500 South Bronough Street
Tallahassee, Florida 32399-0250

Dear Mr. Stroh:

I am writing in support of the Palm Beach County Board of County Commissioners' Historic Preservation Small Matching Grant fund application for the continued restoration of the DuBois Pioneer Home.

I am a professor of archaeology in the Department of Anthropology at Florida Atlantic University. I have been involved in historic preservation as a professional archaeologist at both the local and national levels for over 20 years. I currently serve as Vice-Chair of the Palm Beach County Historic Resources Review Board.

The DuBois house is a historic property of major significance to Palm Beach County and the State of Florida. The house communicates the story of early settlers in south Florida. The property is also associated with archaeological deposits of significance to our understanding of history and prehistory. The property is listed on the National Register of Historic Places.

The grant application requests funding for continued renovation of the house. In my professional view, the proposed work is critical and deserves funding.

Please do not hesitate to contact me for more information.

Sincerely,

A handwritten signature in black ink, appearing to read 'Clifford T. Brown'.

Clifford T. Brown, Ph.D.
Associate Professor

Boca Raton • Dania Beach • Davie • Fort Lauderdale • Jupiter • Treasure Coast
An Equal Opportunity/Equal Access Institution



Archaeological and Historical Conservancy, Inc.

4800 S.W 64th Ave, Suite 107 Davie, FL 33314

Phone: 954-792-9776 Fax: 954-792-9954

Email: archlgcl@bellsouth.net Web: www.flarchaeology.com

December 8, 2009

Mr. Scott M. Stroh, Director
R.A. Gray Building, Room 305
500 South Bronough Street
Tallahassee, Florida 32399-0250

Dear Mr. Stroh:

I am writing in support of the Palm Beach County Board of County Commissioners' Historic Preservation Small Matching Grant fund application for the continued restoration of the DuBois Pioneer Home.

We are impressed with the importance of the site to the community both as a historic and archaeological resource.

The DuBois house is a historic property of major significance to Palm Beach County and the State of Florida. The house communicates the story of early settlers in south Florida. The property is also associated with archaeological deposits of significance to our understanding of history and prehistory. The property is listed on the National Register of Historic Places.

The grant application requests funding to continue to renovate the house. This project is certainly worthy of funding.

Please do not hesitate to contact me for more information.

Sincerely,

Robert S. Carr
Executive Director



FLORIDA DEPARTMENT OF STATE
Kurt S. Browning
Secretary of State
DIVISION OF HISTORICAL RESOURCES

Ms. Jean Matthews
Palm Beach County Parks and Recreation Department
2700 6th Avenue South
Lake Worth, Florida 33461

December 3, 2009

RE: DHR Project File Number: 2009-6923
Federal Emergency Management Agency – Pre-Disaster Mitigation Grant
FL-2010-056 PDM Application
*Palm Beach County – Window Replacement Project at the DuBois Pioneer Home - 19075 DuBois Road
Jupiter, Palm Beach County*

Dear Ms. Matthews:

This office reviewed the referenced project for possible impact to historic properties listed, or eligible for listing, in the *National Register of Historic Places*. The review was conducted in accordance with Section 106 of the *National Historic Preservation Act of 1966*, as amended and *36 CFR Part 800: Protection of Historic Properties*.

We note that DuBois Pioneer Home (8PB34B) is listed in the *National Register* as part of the Jupiter Inlet Historical and Archaeological Site (8PB34). Our office has recently reviewed the construction documents for restoration of the DuBois Pioneer Home, including restoration of the historic windows, installation of replacement windows matching the originals where the originals were previously replaced with aluminum windows, and installation of a vented and fully demountable lexan protective panel system. It is the opinion of this office that all proposed work is fully consistent with the *Secretary of the Interior's Standards for Rehabilitation*. And therefore, will have no adverse effect on the historic character of the building.

Finally, this office requests that you submit an updated Florida Master Site File Historical Structure form for the DuBois Pioneer Home (8PB34B). Documentation for the building must include a completed Florida Master Site File Historical Structure form, current archival quality photographs (digital is acceptable if it meets our requirements) and a location map for the property. A copy of the structure form and digital photograph requirements (New Photo Submission Policy) can be downloaded at www.flheritage.com/preservation/sitefile.

If you have any questions concerning our comments, please contact Scott Edwards, Historic Preservationist, by electronic mail sedwards@dos.state.fl.us, or at 850-245-6333 or 800-847-7278.

Sincerely,

Laura A. Kammerer
Deputy State Historic Preservation Officer
For Review and Compliance

PC: Maria del Mar Lopez, FDEM
500 S. Bronough Street • Tallahassee, FL 32399-0250 • <http://www.flheritage.com>

Director's Office
(850) 245-6300 • FAX: 245-6436

Archaeological Research
(850) 245-6444 • FAX: 245-6452

Historic Preservation
(850) 245-6333 • FAX: 245-6437



FLORIDA PUBLIC ARCHAEOLOGY NETWORK

WWW.FLPUBLICARCHAEOLOGY.ORG

Southeast Region
Florida Atlantic University
111 East Las Olas Blvd.
Suite AT817
Ft. Lauderdale, FL. 33301
Dr. Michele Williams
Sarah Nohe
serpca@fau.edu
Phone 954-762-5174
Fax 954-762-5122

Coordinating Center

Dr. William Lees
Executive Director
wlees@uwf.edu
Phone 850-595-0051

Regional Centers

Central Region
Richard Estabrook
restabro@cas.usf.edu

East Central Region
Dr. Rachel Wentz
wentzr@brevardcc.edu

Northeast Region
Sarah Miller
semiller@flagler.edu

Northwest Region
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dscottireton@uwf.edu

West Central Region
Jeff Moates
jmoates@cas.usf.edu

Southwest Region
Steve Archer
sarcher@fortmyersbeachfl.gov

Mr. Scott M. Stroh, Director
R.A. Gray Building, Room 305
500 South Bronough Street
Tallahassee, Florida 32399-0250

Dear Mr. Stroh:

On behalf of the Southeast Regional Center of the Florida Public Archaeology Network (FPAN), I would like to put forward our support of the Palm Beach County Board of County Commissioners' Historic Preservation Small Matching Grant fund application for the continued restoration of the DuBois Pioneer Home.

The DuBois house is a historic property of major significance to Palm Beach County and the State of Florida. The house communicates the story of early settlers in south Florida. The property is also associated with archaeological deposits of significance to our understanding of history and prehistory. The property is listed on the National Register of Historic Places.

The application requests funding in order to continue renovations of the house. This unique home is one of the last remaining historic homesteads of its type in Palm Beach County and, in my professional opinion, it deserves funding.

Please do not hesitate to contact me for more information.

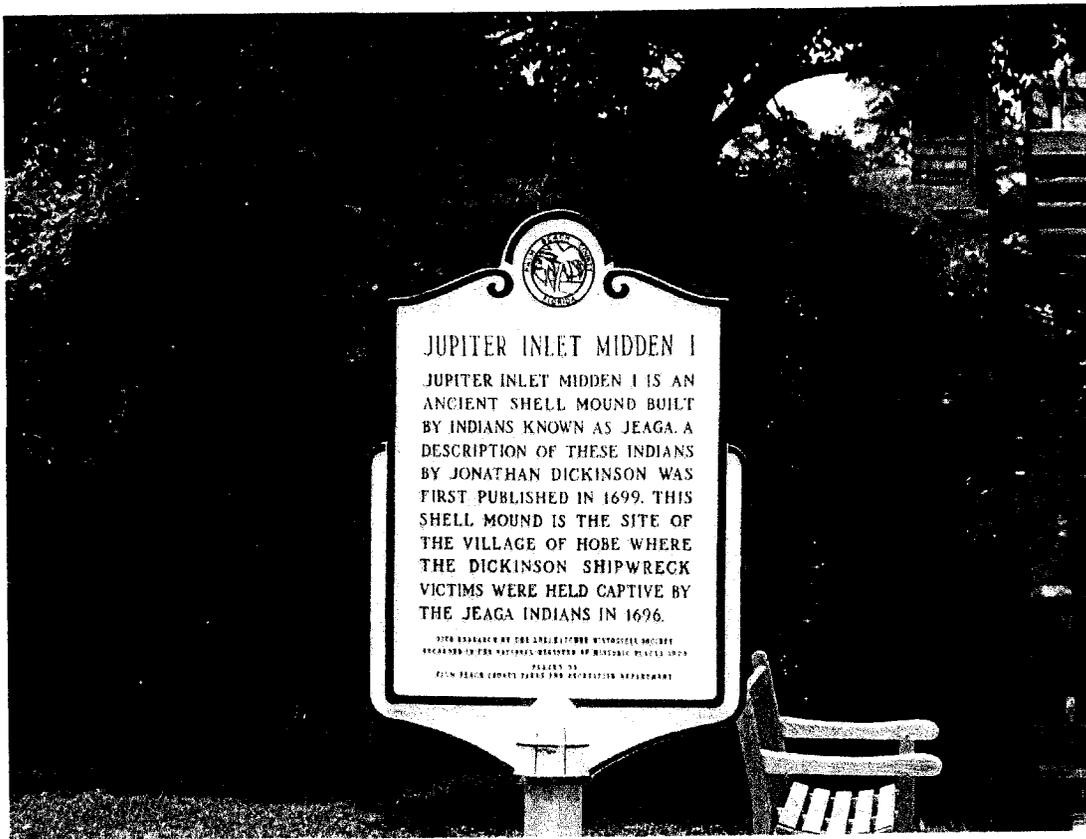
Sincerely,

Michele Williams, PhD. RPA
Director, Southeast Region
Florida Public Archaeology Network

DuBois Pioneer Home – FSM11_0198



DuBois Pioneer Home (Photo taken Dec. 2009)

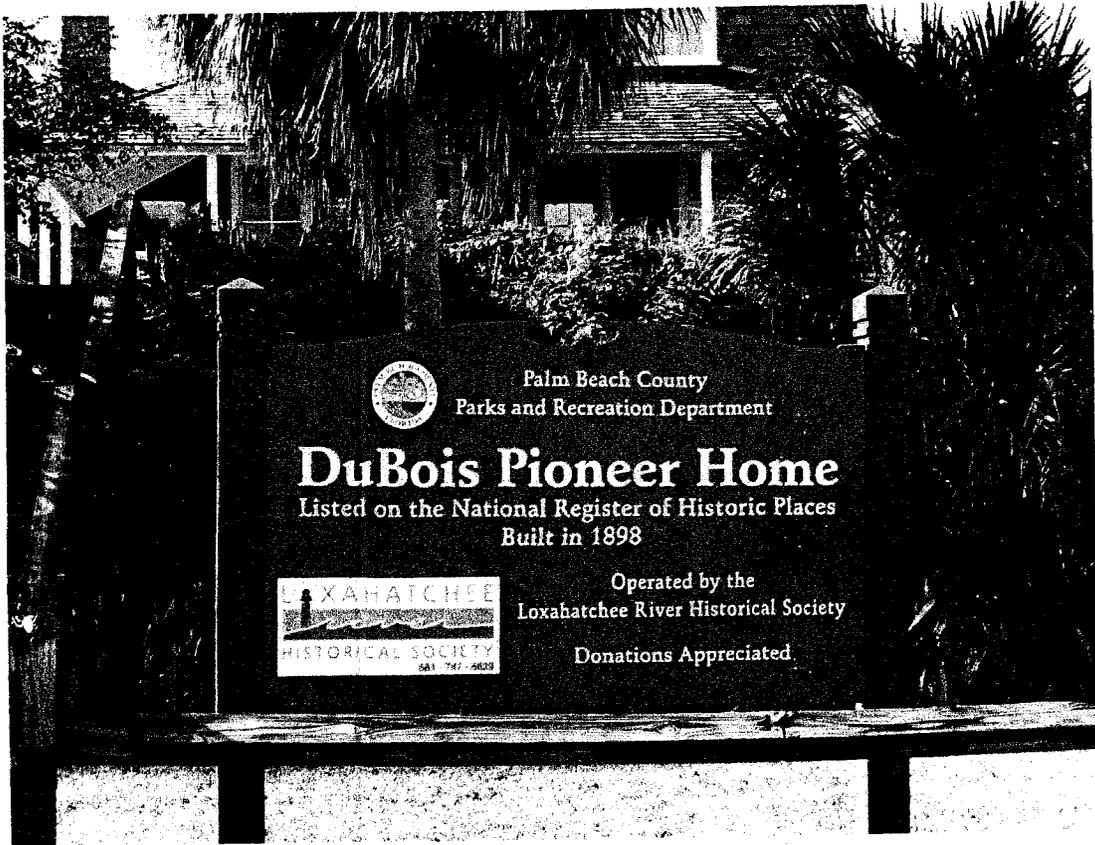


DuBois Pioneer Home – FSM11_0198

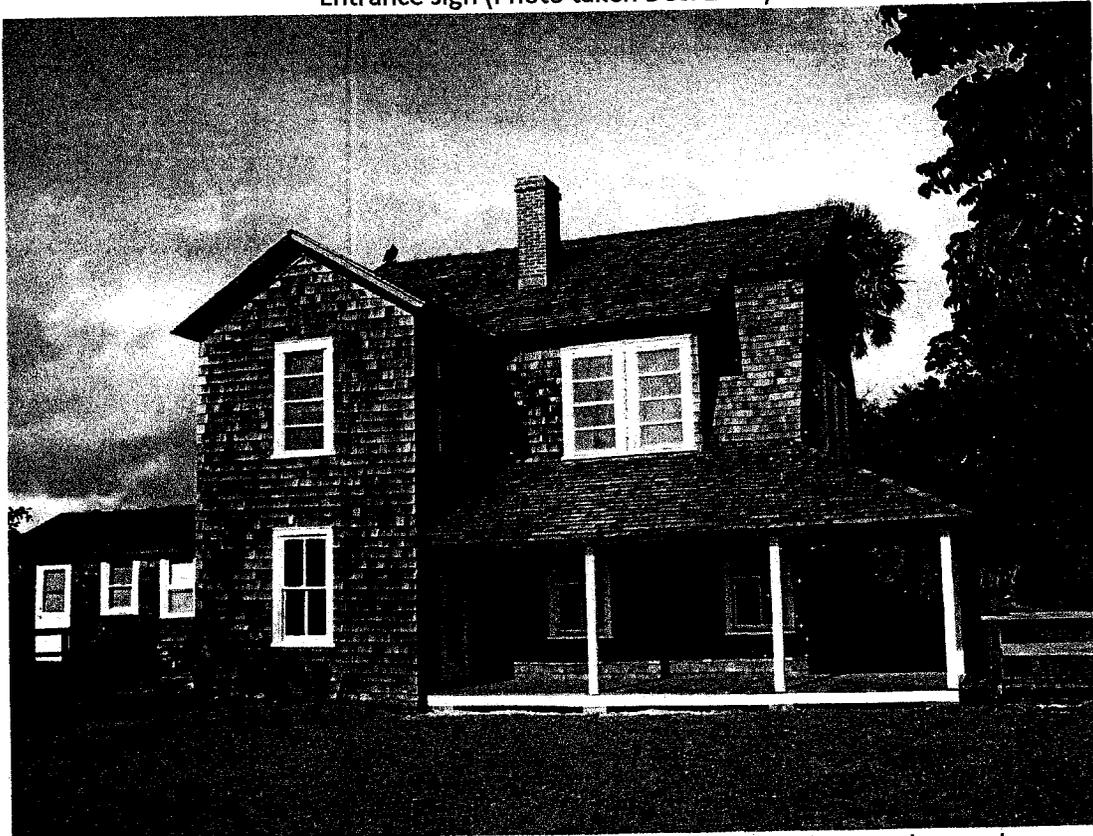


DuBois Park located on the Jupiter Inlet (house is in the middle of photo)

DuBois Pioneer Home – FSM11_0198

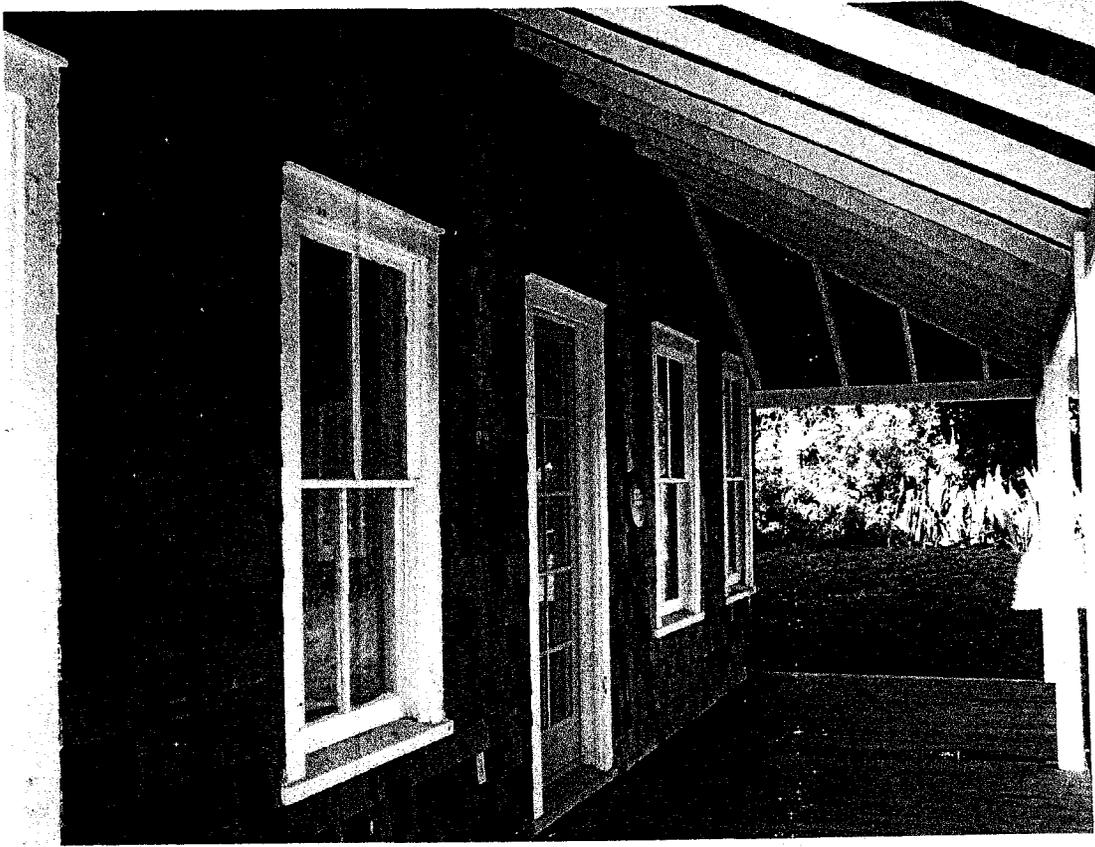


Entrance sign (Photo taken Dec. 2009)

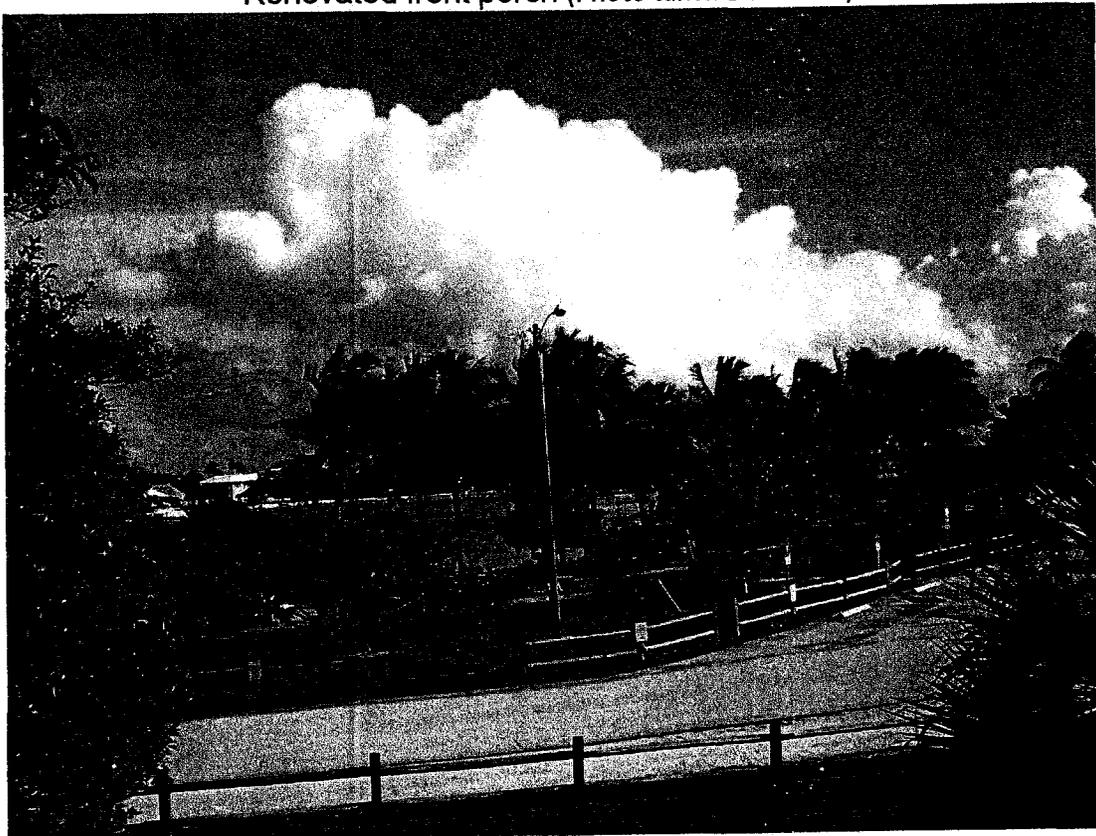


View of the south side of the house (windows on second floor require replacement)
(Photo taken Dec. 2009)

DuBois Pioneer Home – FSM11_0198



Renovated front porch (Photo taken Dec. 2009)



View from front Porch (Photo taken Dec. 2009)

DuBois Pioneer Home – FSM11_0198



View of rear of property (Photo taken Dec. 2009)

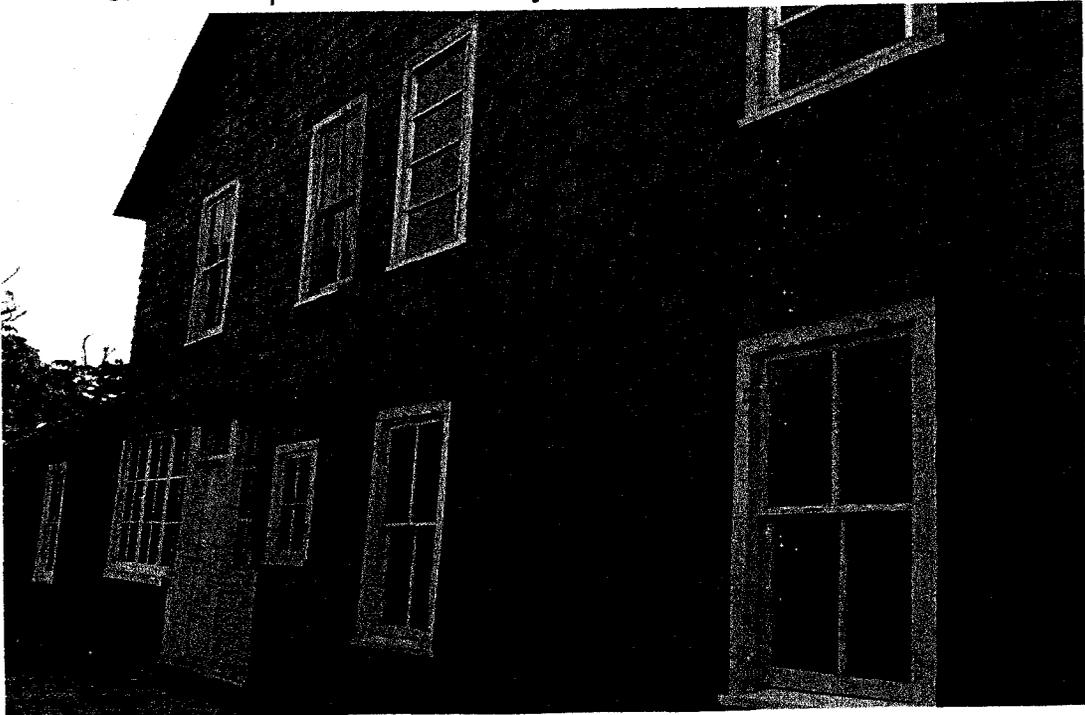


Front of house (Photo taken Dec. 2009)

DuBois Pioneer Home – FSM11_0198

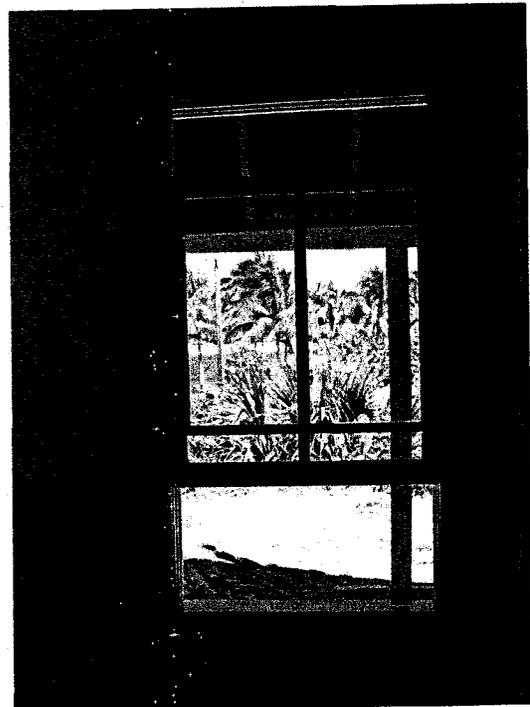
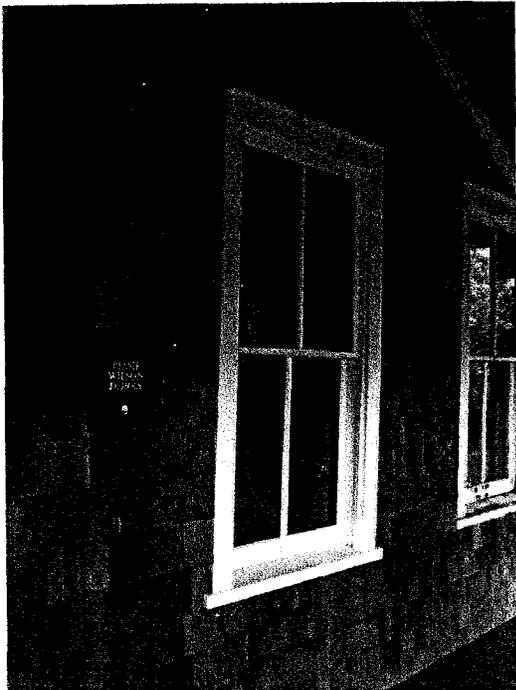


Chauffer's quarter – breezeway removed (Photo taken Dec. 2009)



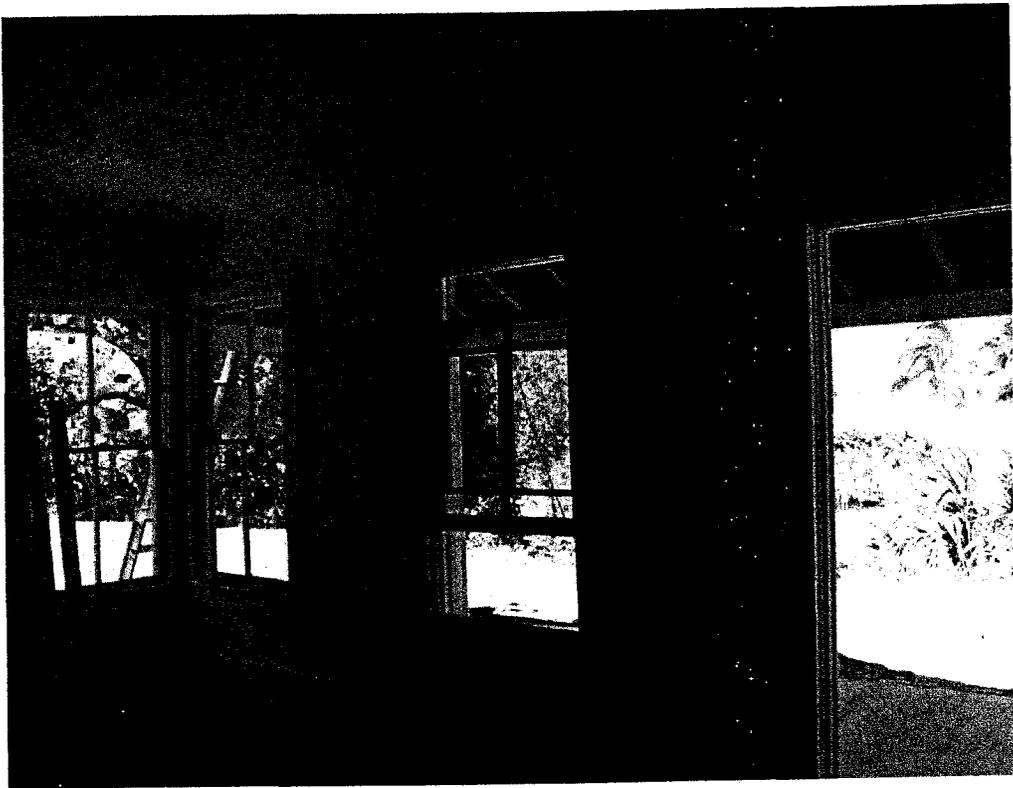
New siding, windows require replacement (Photo taken Dec. 2009)

DuBois Pioneer Home – FSM11_0198

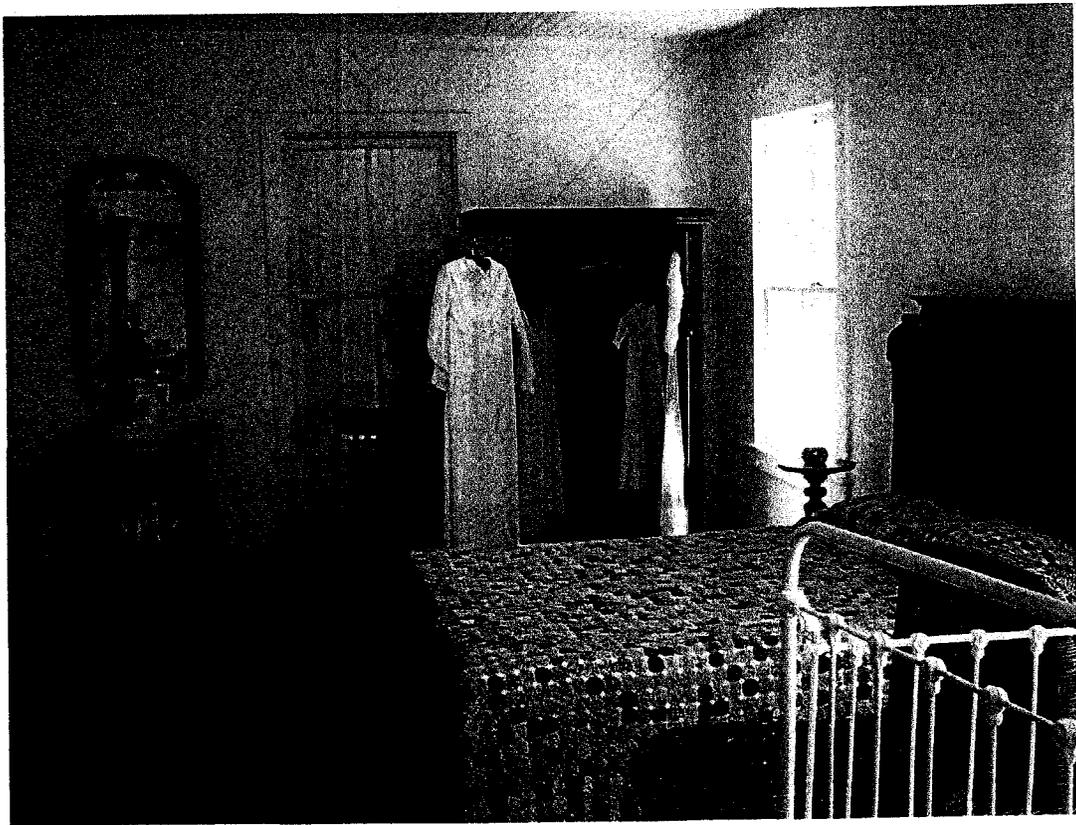


Window Replacement Project (Photos taken spring of 2009)

DuBois Pioneer Home – FSM11_0198

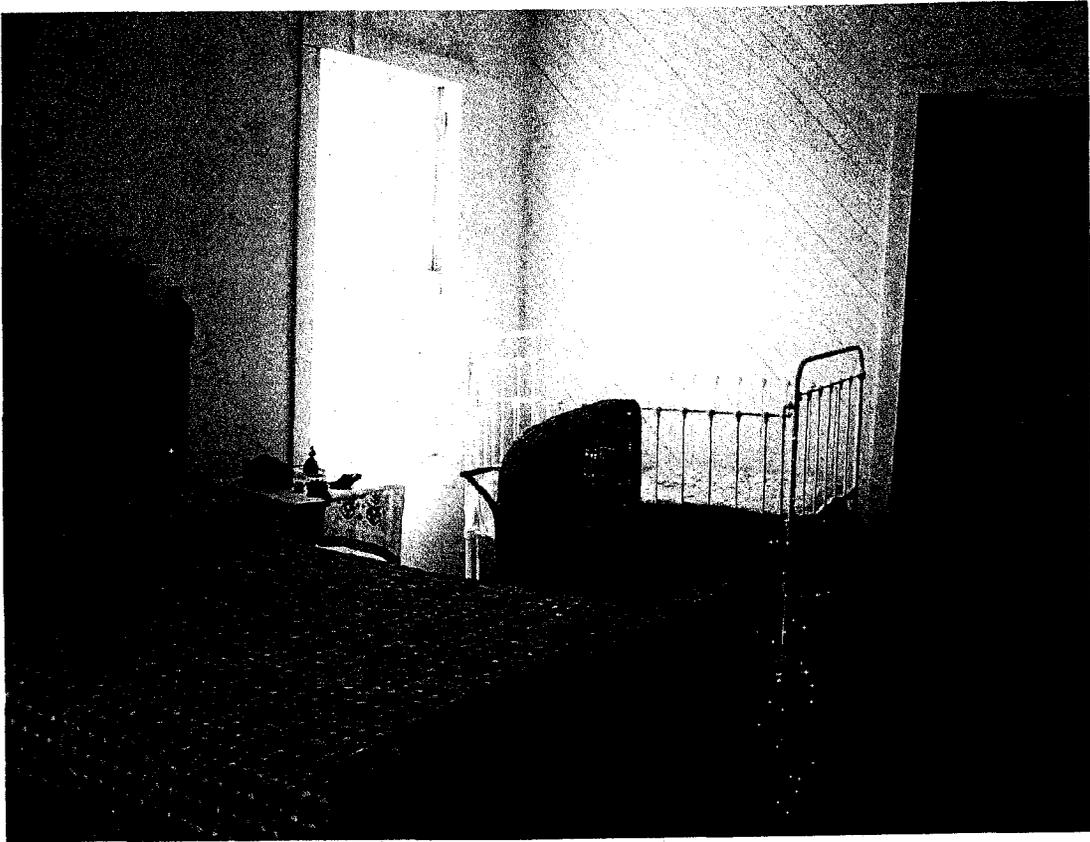


Window Replacement Project. (Photos taken spring of 2009)



Loxahatchee River Historical Society's period furnishings (Photo taken 2008)

DuBois Pioneer Home – FSM11_0198



Loxahatchee River Historical Society's period furnishings (Photo taken 2008)



Loxahatchee River Historical Society's period furnishings (Photo taken 2008)

DuBois Pioneer Home – FSM11_0198



Loxahatchee River Historical Society's period furnishings (Photo taken 2008)

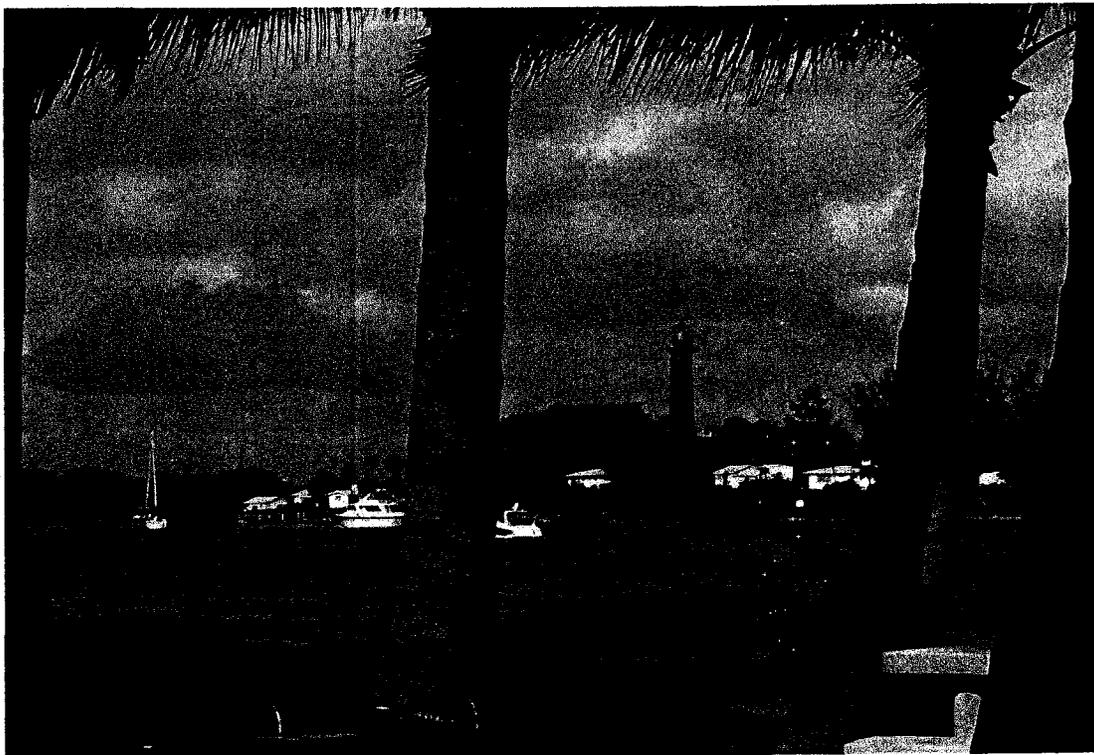


View of south side of the house (Photo taken Dec. 2009)

DuBois Pioneer Home – FSM11_0198



Southwest side of the house (Photo taken Dec. 2009)

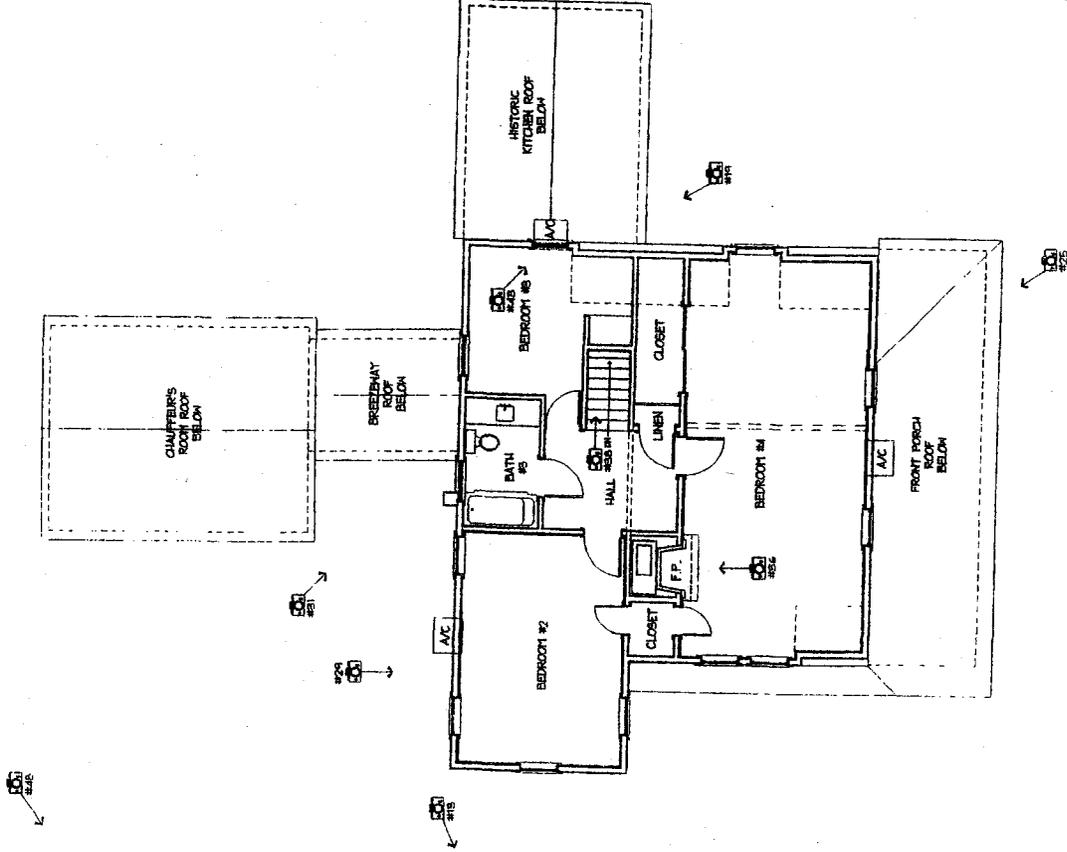


View of Jupiter Lighthouse from DuBois Park (Photo taken Dec. 2009)

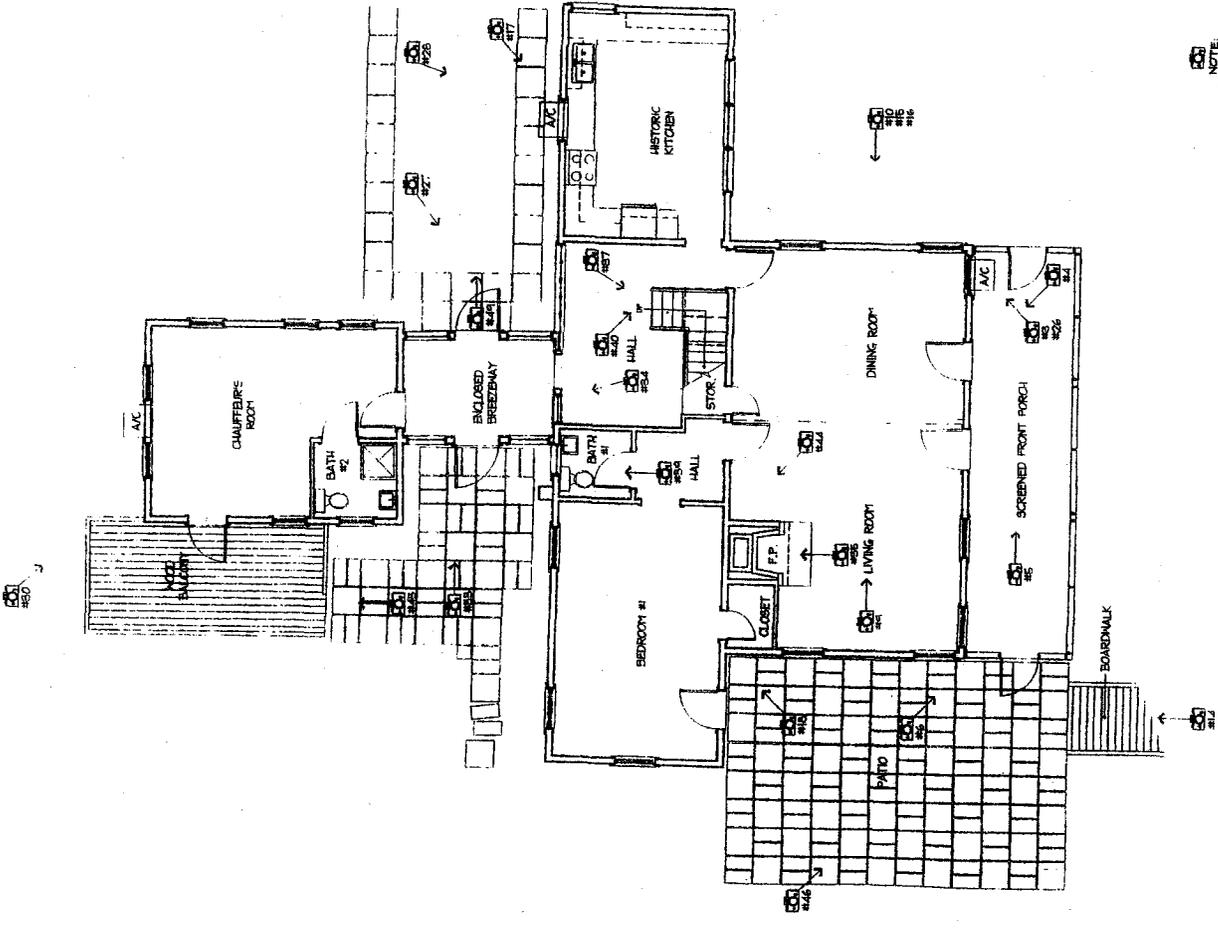
DuBois Pioneer Home – FSM11_0198



View of Jupiter Inlet and Atlantic Ocean from DuBois Park (Photo taken Dec. 2009)

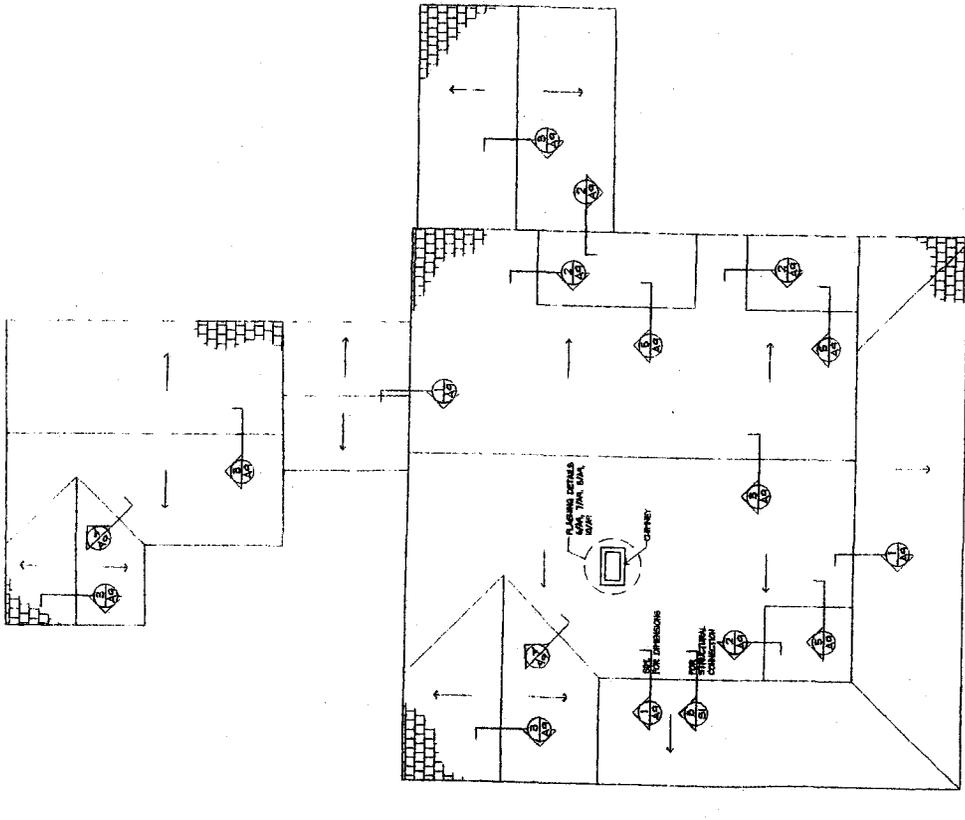


EXISTING SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



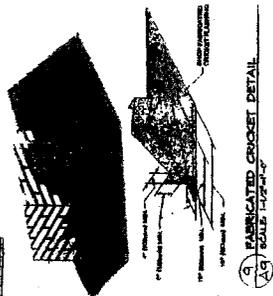
NOTE:
 REFER TO
 SPECIFICATIONS
 FOR PHOTOS

EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

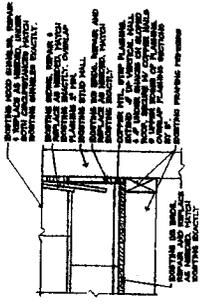


11. ROOF PLAN
SCALE 1/4" = 1'-0"

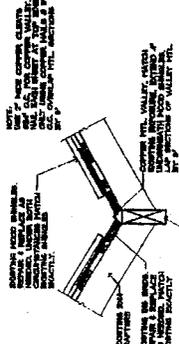
NOTE:
HISTORICALLY, THE ONLY PIPES AVAILABLE FOR THE SMOKE STACK THAT PASSED FROM THE
ROOF TO THE CHIMNEY WERE MADE OF WOOD. THESE WERE MADE OF OAK OR PINE AND
WERE SET IN PLACE BY THE ROOFERS AND WERE HELD IN PLACE BY A WOOD CHIMNEY
PIECE. THE ROOFERS WOULD ALSO PLACE A WOOD CHIMNEY PIECE ON THE
INSIDE OF THE CHIMNEY TO HOLD THE WOOD CHIMNEY PIECE IN PLACE.
AT A FUTURE DATE, IT IS INTENDED TO RECONSTRUCT A HISTORICALLY ACCURATE WOOD
CHIMNEY. COLLECTION TUBES AND PIPES, THE FUTURE WORK IS NOT PART OF THIS CONTRACT.



9. FABRICATED CROCKET DETAIL
SCALE 1/4" = 1'-0"



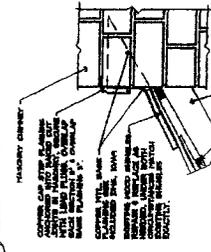
2. STEP FLASHING DETAIL
SCALE 1/4" = 1'-0"



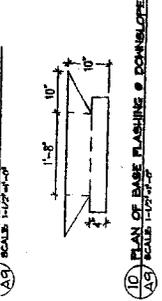
4. VALLET DETAIL
SCALE 1/4" = 1'-0"



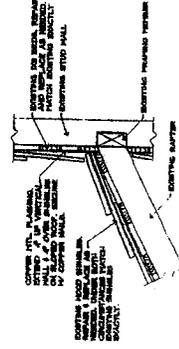
6. STEP FLASHING DETAIL - CHIMNEY
SCALE 1/4" = 1'-0"



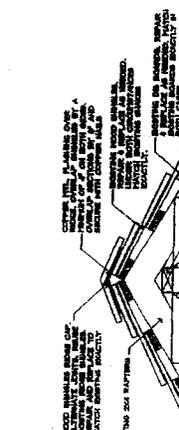
8. BASE FLASHING & DOWNSLOPE
SCALE 1/4" = 1'-0"



10. PLAN OF BASE FLASHING & DOWNSLOPE
SCALE 1/4" = 1'-0"



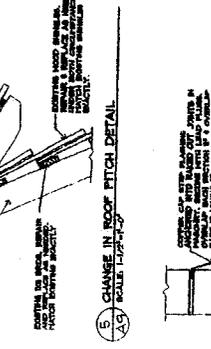
1. ROOF TO WALL DETAIL
SCALE 1/4" = 1'-0"



3. RIDGE DETAIL
SCALE 1/4" = 1'-0"



5. CHANGE IN ROOF PITCH DETAIL
SCALE 1/4" = 1'-0"



7. BASE FLASHING & UPRLOPE
SCALE 1/4" = 1'-0"

200 GENERAL/FOUNDATION NOTES

- 200.1 THE CONTRACTOR SHALL VERIFY WITH THE ARCHITECT AND THE CITY ENGINEER THE EXISTING CONDITIONS AT THE SITE AND MAKE THE NECESSARY PROVISIONS TO MAINTAIN THE EXISTING CONDITIONS TO PROVIDE FOR THE PROPOSED CONSTRUCTION.
- 200.2 THE CONTRACTOR SHALL USE EXISTING CONDITIONS AS SHOWN ON THE PLANS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND FOR NOTIFYING THE ARCHITECT OF ANY DISCREPANCIES.
- 200.3 THE EXISTING CONDITIONS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE EXISTING CONDITIONS AND FOR NOTIFYING THE ARCHITECT OF ANY DAMAGE TO THE EXISTING CONDITIONS.
- 200.4 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.
- 200.5 ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE (145 PCF) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI. ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS.
- 200.6 ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.
- 200.7 ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.
- 200.8 ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.
- 200.9 ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.
- 200.10 ALL CONCRETE SHALL BE PLACED AND FINISHED AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE ARCHITECT.

300 STRUCTURAL LAYOUT

- 300.1 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 300.2 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
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- 300.4 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
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- 300.6 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 300.7 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 300.8 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 300.9 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 300.10 ALL FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE FOUNDATION WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.

600 COMPONENTS AND CLADDING

- 600.1 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.2 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.3 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.4 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.5 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.6 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.7 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.8 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.9 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.
- 600.10 ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS. THE EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 18" THICK WALLS.

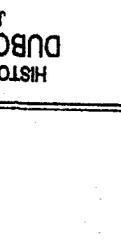
700 COMPONENTS AND CLADDING WIND LOADS FOR EXPOSURE B

WIND DIRECTION	WIND SPEED (MPH)	WIND PRESSURE (PSF)
1	100	15.0
2	100	15.0
3	100	15.0
4	100	15.0
5	100	15.0
6	100	15.0
7	100	15.0
8	100	15.0
9	100	15.0
10	100	15.0

800 COMPONENTS AND CLADDING WIND LOADS FOR EXPOSURE B

WIND DIRECTION	WIND SPEED (MPH)	WIND PRESSURE (PSF)
1	100	15.0
2	100	15.0
3	100	15.0
4	100	15.0
5	100	15.0
6	100	15.0
7	100	15.0
8	100	15.0
9	100	15.0
10	100	15.0

900 COMPONENTS AND CLADDING WIND PRESSURE DIAGRAM

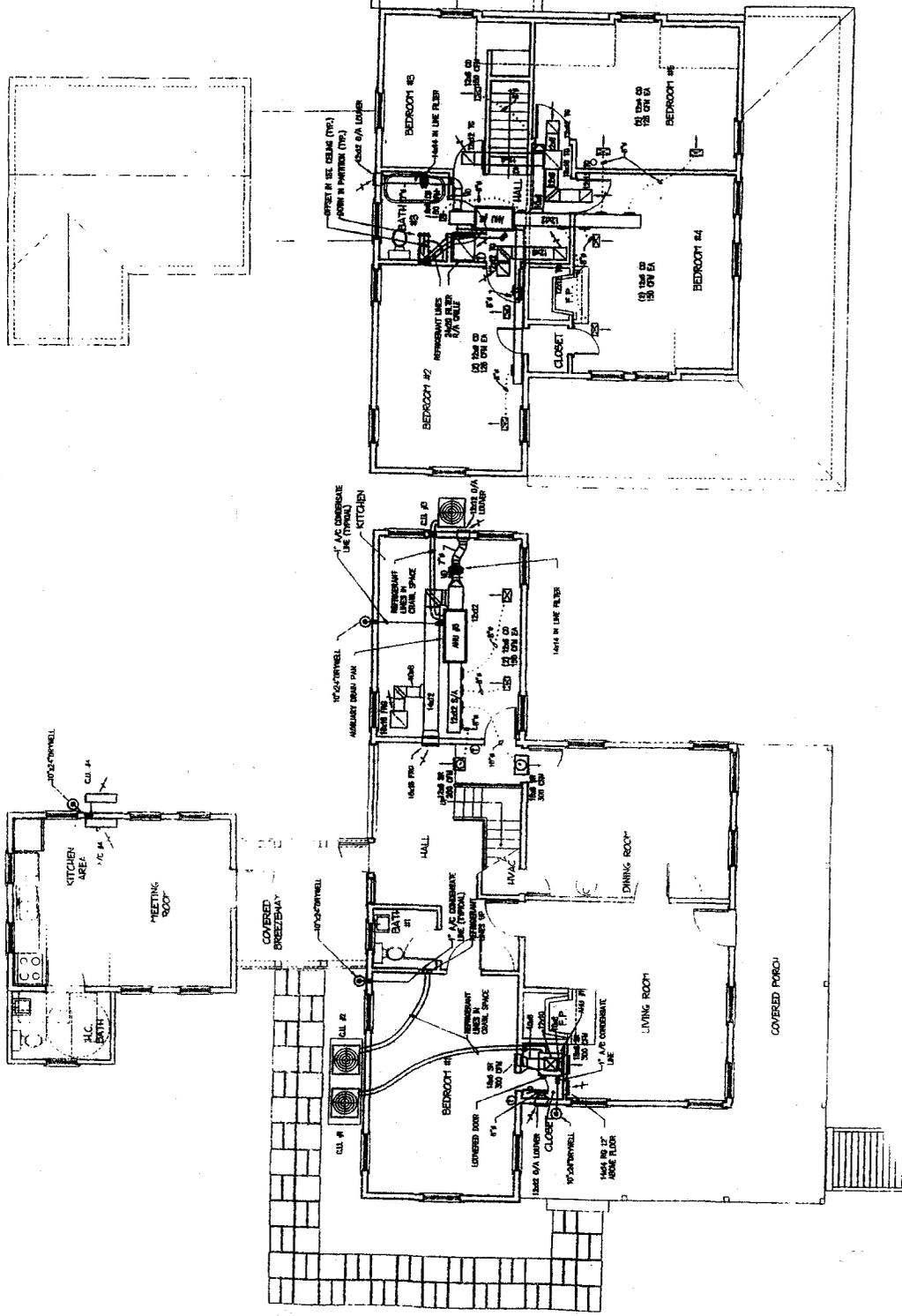


1000 HISTORIC RESTORATION OF THE DUBOIS PIONEER HOME

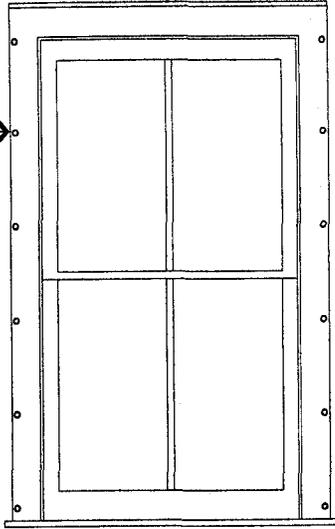
JUPITER, FLORIDA

Bender & Associates ARCHITECTS

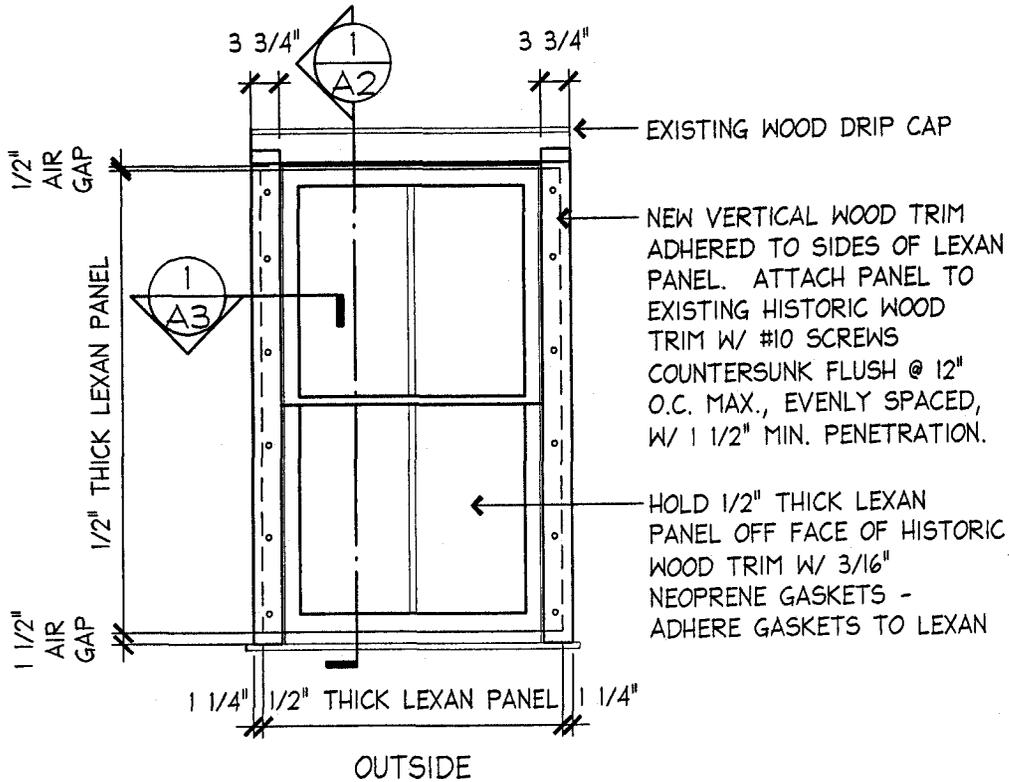
S-2 15 OF 21



SECURE EXISTING
 1 1/8" X 3 3/4" WOOD
 TRIM TO STRUCTURE
 W/ #10 SCREWS @ 12"
 O.C. MAX., EVENLY
 SPACED AND
 COUNTERSUNK,
 INSTALLED AT A
 SLIGHT ANGLE TO
 ENSURE ATTACHMENT
 TO STUDS W/ 1 1/2"
 MIN. PENETRATION



1 EXISTING EXT. WINDOW ELEVATION
 A1 1/2" = 1'-0"



2 EXTERIOR WINDOW ELEVATION
 W/ SECURITY PANEL
 A1 1/2" = 1'-0"

HISTORIC RESTORATION OF THE
DUBOIS PIONEER HOME
 JUPITER, FLORIDA

410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

Bender & Associates
ARCHITECTS p.a.

Project No: 0114

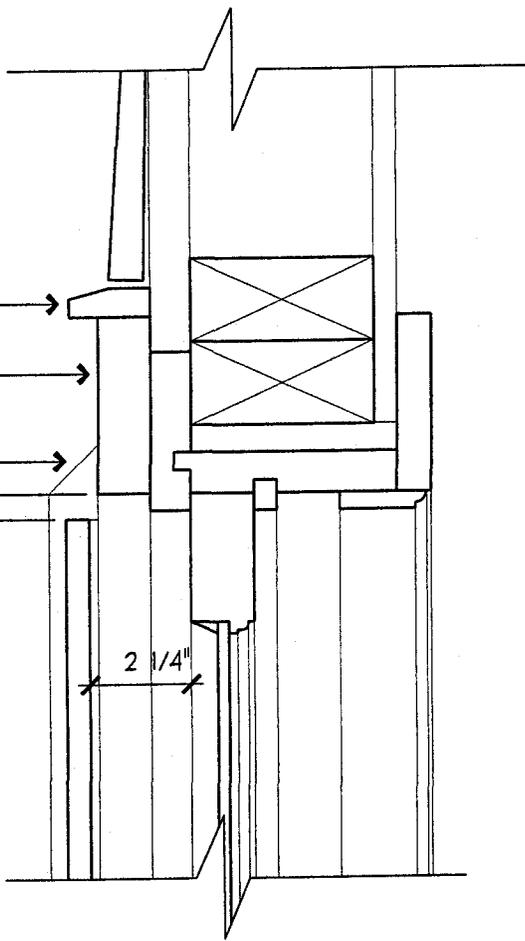
Date: 6/13/08

A1

EXISTING WOOD DRIP CAP
 EXISTING HISTORIC 1 1/8" X 3 3/4" TRIM
 NEW VERTICAL WOOD TRIM ADHERED TO
 SIDES OF LEXAN PANEL
 ANGLE TOP TO SHED WATER

1/2"

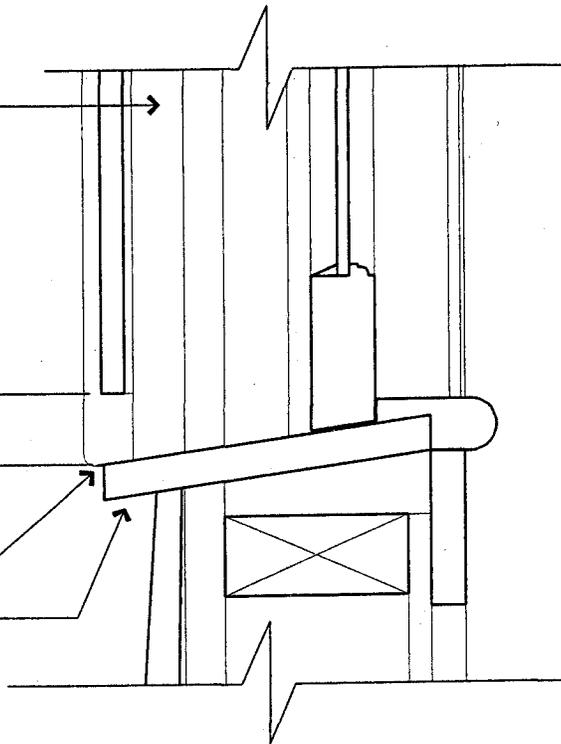
2 1/4"



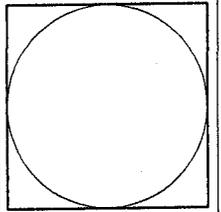
EXISTING HISTORIC 1 1/8" X 3 3/4" TRIM

1 1/2"

RADIUS BOTTOM EDGE OF NEW WOOD TRIM
 EXISTING HISTORIC WINDOW SILL



HISTORIC RESTORATION OF THE
 DUBOIS PIONEER HOME
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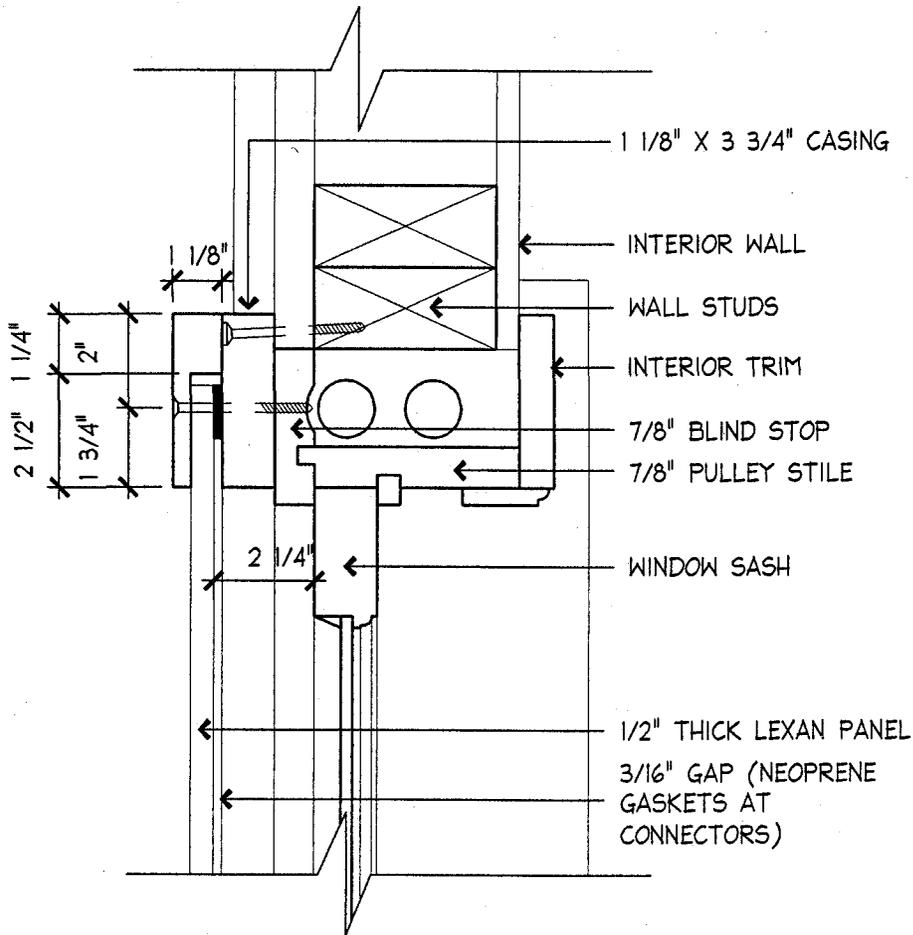
Bender & Associates
 ARCHITECTS
 p.a.

Project No: 0114

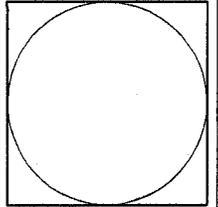
Date: 6/13/08

1 WINDOW HEAD & SILL DETAIL
 A2 3" = 1'-0"

A2



HISTORIC RESTORATION OF THE
DUBOIS PIONEER HOME
 JUPITER, FLORIDA



410 Angela Street
 Key West, Florida 33040
 Telephone (305) 296-1347
 Facsimile (305) 296-2727
 Florida License AAC002022

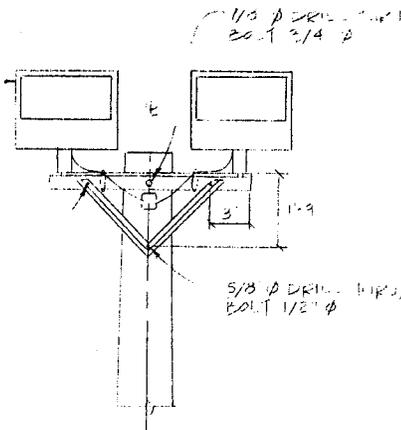
Bender & Associates
ARCHITECTS p.a.

Project No: 0114

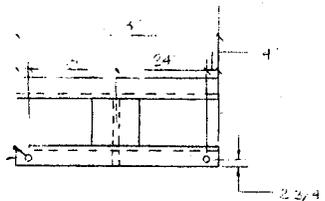
Date: 6/13/08

A3

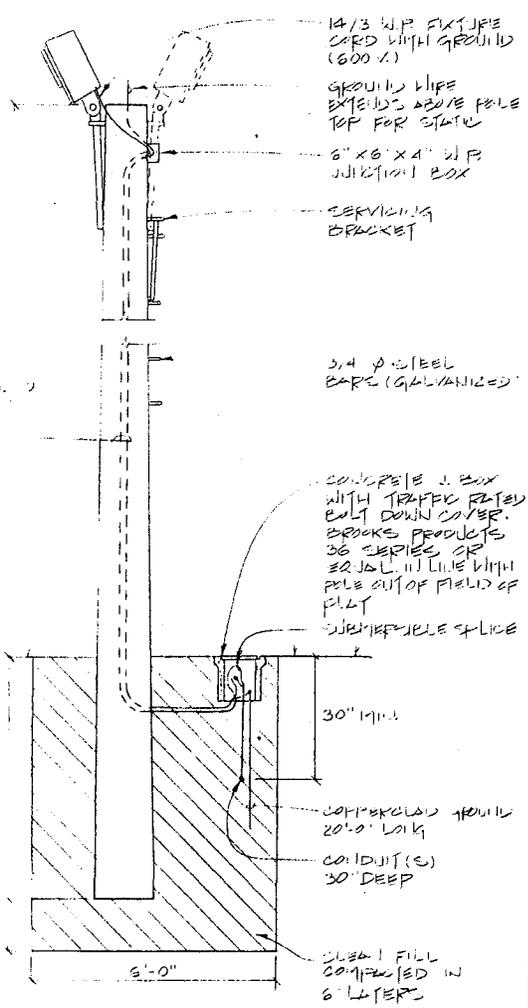
1 WINDOW JAMB DETAIL
 A3 3" = 1'-0"



ELEVATION



PLAN



SIDE VIEW

40.00 FT. POLE
TYPICAL 1\"/>

CONCRETE
FOUNDATION

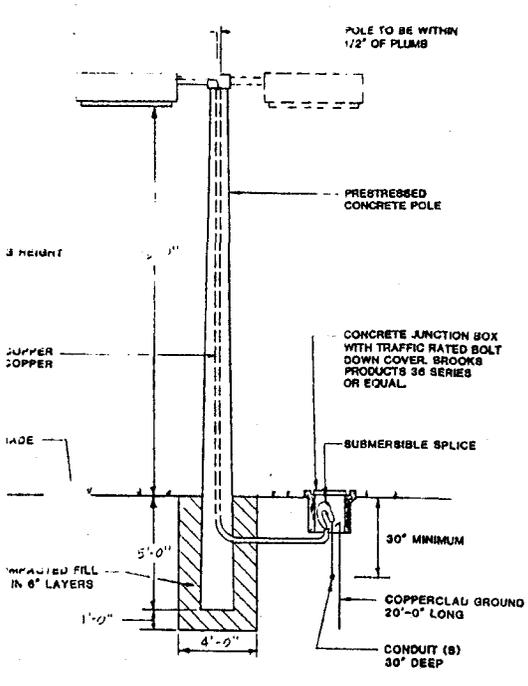
ALL DIMENSIONS TO BE CENTER TO CENTER UNLESS NOTED OTHERWISE
ALL DIMENSIONS TO BE CENTER TO CENTER UNLESS NOTED OTHERWISE
ALL DIMENSIONS TO BE CENTER TO CENTER UNLESS NOTED OTHERWISE

DETAIL "E"
TENNIS COURT POLE & LIGHT DETAIL
FIXTURE TYPES "SC" & "SD"

FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NO.	LAMPS	MARKING	REMARKS
SA	DEVINE	PCR 1522A-250MH TE	250W M.H.	DETAIL "F"	ONE PER POLE
SB	DEVINE	PCR 1522I-250MH TE	250W M.H.	DETAIL "F"	TWO PER POLE
SC	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "E"	TWO PER POLE
SD	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "E"	FOUR PER POLE
SE	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "C"	TWO PER POLE
SF	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "D"	ONE PER POLE
SG	HOGRAW-EDISON	FC21685	400W M.H.	DETAIL "A"	ONE PER BRACKET
SH	HOGRAW-EDISON	FC21685	400W M.H.	DETAIL "B"	TWO PER BRACKET
SJ	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "C"	TWO PER POLE
SK	HOGRAW-EDISON	FCJ188 S	1000W M.H.	DETAIL "D"	ONE PER POLE

The above listed manufacturer's are named for recommendation and standard of quality, material and illumination. Equal fixtures from other manufacturer's may be submitted for approval by the Engineer. Acceptance or rejection of submittals as equals shall be the decision of the Engineer of record.



DETAIL "F"

PALM BEACH COUNTY
ENGINEERING & PUBLIC WORKS
architectural division
WEST PALM BEACH, FLORIDA (305) 684-4060



PONDWOOD PARK

Drawn: *TS*
Checked: *GS*
Date: 12/18/87

Sheet: **E-3**

h m brabham

8 PB 34B

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DS-HSP-3A Rev. 5-75

FLORIDA MASTER
SITE FILE

FDAHRM 802==

Site No. DuBois Home - No # Assigned 1009==

Site Name DuBois Home - Jupiter, Florida 830==

Other Name(s) for Site _____ 830==

Other Nos. for Site _____ 906==

NR Classification Category: Historical Structure (Archeological) 916==

County Palm Beach 808==

Instructions for locating site (or address) Located within DuBois Park - R. R. Box #11
Along DuBois Rd. and atop Jupiter Inlet Midden I.

_____ 813==

Owner of Site: Name Board of County Commissioners 902==

Address Palm Beach County, Florida 903==

Occupant, Tenant, or Manager:
Name NA 904==

Address _____ 905==

Reporter (or local contact):
Name Greg Stenger - Administrative Assistant 816==

Address Parks and Recreation Dept. 2700 6th Ave. So. Lake Worth, FL 817==

Recorder:
Name & Title _____ 818==

Address _____ 819==

Survey Date 1/15/72 820== Type Ownership Public Ownership 848==

Inventory Status _____ 914==

Previous Survey(s), Excavation(s) or Collection(s): (enter title of survey; date; whether federal, state, county or local; location of survey report(s); and material collected).
Not available

_____ 839==

Recording Station _____ 804==

Specimens (Inventory Numbers) _____ 870==

Specimens (Present Repository of Materials) _____ 880==

Date of Visit to Site _____ 828== Recording Date _____ 832==

Photographic Record Numbers _____ 860==

Location of Site (Specific):
 Map Reference (incl. scale & date)

806==

Township	Range	Section	¼ Sec.	¼ ¼ Sec.	¼ ¼ ¼ Sec.
40S	43E	32	SW		

812==

LATITUDE AND LONGITUDE COORDINATES DEFINING A POLYGON LOCATING THE PROPERTY

LATITUDE

LONGITUDE

Point	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds

OR

LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES

800==

UTM Coordinates:

Zone Easting Northing

890==

Description of Site:

Original Use(s) of Site: Residence

838==

Site Size (approx. acreage of property):

Approximately one acre

833==

Condition of Site:

Check one

- Excellent 863==
- Good 863==
- Fair 863==
- Deteriorated 863==
- Ruins 863==
- Unexposed 863==

Integrity of Site:

Check one or more

- Altered 858==
- Unaltered 858==
- Destroyed 858==
- Restored () Date: () 858==
- Moved () Date: () 858==
- Original Site 858==

Condition of Site (Remarks):

863==

Threats to Site:

878==

HISTORIC SITE DATA SUPPLEMENT

Site No. _____

Site Name _____

Present Use (check one or more as appropriate)

- | | | | |
|--|--|--|---|
| <input type="checkbox"/> Agricultural 850== | <input type="checkbox"/> Government 850== | <input checked="" type="checkbox"/> Park 850== | <input type="checkbox"/> Transportation 850== |
| <input type="checkbox"/> Commercial 850== | <input type="checkbox"/> Industrial 850== | <input type="checkbox"/> Private Residence 850== | Other (Specify): |
| <input type="checkbox"/> Educational 850== | <input type="checkbox"/> Military 850== | <input type="checkbox"/> Religious 850== | <input type="checkbox"/> _____ 850== |
| <input type="checkbox"/> Entertainment 850== | <input checked="" type="checkbox"/> Museum 850== | <input type="checkbox"/> Scientific 850== | <input type="checkbox"/> _____ 850== |

Period (check one or more as appropriate)

- | | | | |
|--|---|--|---|
| <input type="checkbox"/> Pre-Columbian 845== | <input type="checkbox"/> 16th Century 845== | <input type="checkbox"/> 18th Century 845== | <input type="checkbox"/> 20th Century 845== |
| <input type="checkbox"/> 15th Century 845== | <input type="checkbox"/> 17th Century 845== | <input checked="" type="checkbox"/> 19th Century 845== | |

Specific Dates: Beginning 1898 844== Ending Present 846==

Areas of Significance (check one or more as appropriate)

- | | | | |
|---|---|---|--|
| <input type="checkbox"/> Archaeology
Prehistoric 910== | <input type="checkbox"/> Conservation 910== | <input type="checkbox"/> Literature 910== | <input checked="" type="checkbox"/> Social/Human-
itarian 910== |
| <input checked="" type="checkbox"/> Archaeology
Historic 910== | <input type="checkbox"/> Economics 910== | <input type="checkbox"/> Military 910== | <input type="checkbox"/> Theater 910== |
| <input type="checkbox"/> Agriculture 910== | <input type="checkbox"/> Education 910== | <input type="checkbox"/> Music 910== | <input type="checkbox"/> Transportation 910== |
| <input type="checkbox"/> Architecture 910== | <input type="checkbox"/> Engineering 910== | <input type="checkbox"/> Philosophy 910== | Other (Specify): |
| <input type="checkbox"/> Art 910== | <input type="checkbox"/> Industry 910== | <input type="checkbox"/> Politics/Govt. 910== | <input type="checkbox"/> _____ 910== |
| <input type="checkbox"/> Commerce 910== | <input type="checkbox"/> Invention 910== | <input type="checkbox"/> Religion 910== | <input type="checkbox"/> _____ 910== |
| <input type="checkbox"/> Communications 910== | <input checked="" type="checkbox"/> Landscape
Architecture 910== | <input type="checkbox"/> Science 910== | <input type="checkbox"/> _____ 910== |
| <input type="checkbox"/> Community
Planning 910== | <input type="checkbox"/> Law 910== | <input type="checkbox"/> Sculpture 910== | <input type="checkbox"/> _____ 910== |

Thematic Classification:

- | | | |
|---|---|--------------------------------------|
| <input type="checkbox"/> Aboriginal 912== | <input type="checkbox"/> Military 912== | Other (Specify): |
| <input checked="" type="checkbox"/> Architectural 912== | <input type="checkbox"/> Political 912== | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> The Arts 912== | <input type="checkbox"/> Society 912== | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> Exploration & Settlement 912== | <input type="checkbox"/> Science & Technology 912== | <input type="checkbox"/> _____ 912== |

Statement of Significance (use continuation sheet if necessary)

John DuBois, the eldest son of Harry and Susan DuBois, told the story of the DuBois Home on the shell mound at Jupiter Inlet on February 17, 1976 on tape for the Loxahatchee Historical Society.

The house was built in 1898 by Harry DuBois. Mr. Henry Sanders, who was soon to be his father-in-law, helped him frame it up, to quote John. Then he finished the first story to make a home for his bride.

Harry DuBois came to Florida from New Jersey to work for a friend of the family who had a grove on Merritt's Island, across from Titusville. He worked in the grove, ran the naphtha launch and hauled the fruit across the river to the station at Titusville for shipment north. He saved his pay each month to buy a sailboat.

His 2-masted sharpie, 44 feet long, was for hauling lumber and gas for the early settlers along the river. He also made an occasional trip to the keys to pick up a load of sproated coconuts and limes to peddle along the Florida coast.

Soon after the Life Saving Station opened in 1886, Harry DuBois joined the crew. He continued to work a pineapple patch he had put out on

Remarks & Recommendations:

Palm Beach County Parks and Recreation Department intends on preserving the house by renovation with the cooperation of the Loxahatchee Historical Society. Future plans call for a proposed museum and utilization of the house as a historic tourist attraction.

835==

Major Bibliographic References:

Loxahatchee Historical Society, P. O. Box 1506 Jupiter, Florida
 -ATTN: Ethel Gravett, President
 John DuBois, Son of eldest son, Harry and Susan DuBois,
 Tape for Loxahatchee Historical Society

920==

Description (Evidence):

862==

Present & Original Physical Appearance (use continuation sheet if necessary)

Restoration of house (\$10,000 in 1976) NOTE: Additional restoration and renovation will be budgeted pending historical significance.

935==

CONTINUATION SHEET

Lake Worth Creek, later the Intracoastal Waterway, about a half mile south of the Life Saving Station. During the storm season when the Life Saving Crew was on duty, they had to patrol the beach one mile to the north and one mile to the south. They carried a time clock with them to a Key-Post at the end of each mile and punched the clock.

The Life Saving Crew members dated the local girls, put on dances at the station and at the Carlin House and provided social life for the community. It was on a blind date that Harry DuBois met Susan Sanders, the new teacher, who had come to teach at the little octagon school house, on Lake Worth Creek. They were soon engaged and Harry bought 18 acres of land in the Inlet from the Gleason family to build a home and a farm. He paid \$100 an acre for his land while many of the early settlers along the river were paying \$3-10 an acre.

Harry DuBois sent to his family in New Jersey for plans for a home on the coast that would withstand the high winds and rigors of living on the ocean. The plan allowed for the building of the first floor, and as the family grew, the addition of the second floor. Lumber and stringers for the house and shingles for the roof and sides were brought from Titusville by boat, or perhaps, when the beach combers were lucky, picked up on the beach. Harry was painstakingly staining the shingles on the roof with red stain when he fell bucket and all. The story goes that Fred Powell came along and saw him and ran to tell Capt. Carlin that Harry was dead, all covered with blood. He was hurt but no bones were broken and he soon resumed work on his house.

Harry DuBois raised truck and bananas on his point and planted fruit trees. He found the salt air hard on crops. Vegetable shipments frequently brought no return from the New York markets. He went into bee keeping and during the sugar shortages of World War I, he shipped many barrels of honey north. He and John, the first son now growing to tall young manhood, fished for pompano for the Hotel Poinciana during the winter season. John said pompano brought 25 cents a pound to the fisherman even in those days and with \$2 buying a day's labor, that was good pay. The Tropical Sun, of those years, told about Harry DuBois bringing in boatloads of bananas and vegetables for the West Palm Beach merchants.

John DuBois, the first son, was born in 1899; Henry S. DuBois, the second son, was born in 1901 and Anna, the only daughter was born in 1903. Neil, the youngest son, was born in 1905. At the time Anna was born, Harry DuBois added a second story to the house and put a bathroom upstairs. Water for the bath and for the kitchen sink was now supplied with a force pump, hand operated at first, which filled a tank on the second story level.

During the family's growing-up years, the shingle house on the shell mound was a gathering place for the young folk of the community. Young friends would go home with the family after church for dinner and a long afternoon on the beach. Or families in their boats would pull up at the dock for an afternoon visit. Mrs. DuBois would entertain members of the Women's Club for a meeting who also came in one or two boats run by the husbands.

Harry DuBois died of pernicious anemia in 1924 and two years later when the crash following the boom wiped out everyone's savings, Mrs. DuBois moved to West Palm Beach to keep house for you 80 year old father. The house was rented

Continued -

for a number of years. R. F. Gladwin II, and his family lived there when they first came to Florida. Clyde and Rena Canipe lived downstairs when they first came to Jupiter to teach. For many years Professor and Mrs Charles Andrews had the house. They made many improvements there just as if they owned the house.

Professor Andres was a retired history teacher from Yale University. One day one of his students, the author Louis Capron, came up from West Palm Beach to visit him and brought a copy of Jonathan Dickinson's Journal. When Mr. Andres realized that he was living on the mound where the Quaker merchant from Jamaica and Philadelphia and his family, shipwrecked by a hurricane, were held captive by the Indians in 1696, he became deeply interested in the Journal. His editing and research of the notes he made on the circumstances surrounding the Journal and Dickinson's life in Jamaica are most readable.

After Professor Andrews' death, the house was bought by Mr. and Mrs. Leo Vickers of Ocean City, New Jersey. They made further improvements and kept it up until the last years when it was being considered for a part of a county park. The county finally took over the land as a part of the county parks system and replaced the roof. The Historical Society and other organizations of the town plan to renew the rest of the house and furnish it with furniture of the early 1900's.

One fact that John brought out of their early years was that his mother cooked on a wood stove, and all the years she lived there, with a kerosene stove for cooking the guava jelly which she made so well, and sometimes sold. They gathered the wood for the stove on the beach, stored it at the bottom of the hill and carried the chopped stove-size pieces to the woodshed-washhouse in a wheelbarrow.

NOTABLE FEATURES OF BUILDING (FREE TEXT) (865):

ROOF STRUCTURAL SYSTEM: Light wood framing. Heart Cypress shingles on wood stripping and 2"x 4" wood rafters. 865==

MAIN ENTRANCE: No formal main entry. Guest access to house through front porch. 865==

WINDOW PLACEMENT: See accompanying photographs 865==

WINDOW SURROUNDS AND DECORATION: 4 light double hung wood windows with flat wood trim. 865==

PORCHES, VERANDAS, GALLERIES AND BALCONIES: Elevated shed roof wood front porch full length of northeast side of main house. Small service porch at rear of house 865==

EXTERIOR ORNAMENT AND COLOR: Exterior walls weathered heart Cypress shingles with white windows, doors, trim and shutters 865==

INTERIOR COMMENTS: Southern Pine floors. Southern Pine tongue & groove joint wall paneling (diagonal) and ceilings. Flat wood trim and base wood cornice 865==

OTHER (SPECIFY): 865==

MAJOR ALTERATIONS (FREE TEXT) (1937) Added upstairs and downstairs fireplace; added downstairs bathroom; replaced plumbing fixtures; screened front porch; replaced original wood foundation piers with masonry 857==

ADJUTANT BUILDINGS (FEATURES OF SITE) Wash house at rear of house connected by service porch 876==

SURROUNDINGS (CLASSIFICATION) Located in northwest corner of 24-acre County Park adjacent to residential area 864==

RELATIONSHIP TO SURROUNDINGS (FREE TEXT) House is located atop a pre-historic Aboriginal Indian shell mound, overlooking the Jupiter Inlet and Atlantic Ocean beyond. The historic Jupiter Lighthouse is located to the north-east, across the Inlet. 859==

**Not
Applicable**

**Not
Applicable**

**Not
Applicable**

Optional Attachments

1. **Historic Photographs**
2. **Letter from Laura A. Kammerer Division of Historical Resources**
3. **USGA Quadrangle Map**
4. **Curriculum Vitae: Christian D, Davenport, MA. RPA**











FLORIDA DEPARTMENT OF STATE
Kurt S. Browning
Secretary of State
DIVISION OF HISTORICAL RESOURCES

Ms. Jean Matthews
Palm Beach County Parks and Recreation Department
2700 6th Avenue South
Lake Worth, Florida 33461

December 3, 2009

RE: DHR Project File Number: 2009-6923
Federal Emergency Management Agency – Pre-Disaster Mitigation Grant
FL-2010-056 PDM Application
*Palm Beach County – Window Replacement Project at the DuBois Pioneer Home - 19075 DuBois Road
Jupiter, Palm Beach County*

Dear Ms. Matthews:

This office reviewed the referenced project for possible impact to historic properties listed, or eligible for listing, in the *National Register of Historic Places*. The review was conducted in accordance with Section 106 of the *National Historic Preservation Act of 1966*, as amended and *36 CFR Part 800: Protection of Historic Properties*.

We note that DuBois Pioneer Home (8PB34B) is listed in the *National Register* as part of the Jupiter Inlet Historical and Archaeological Site (8PB34). Our office has recently reviewed the construction documents for restoration of the DuBois Pioneer Home, including restoration of the historic windows, installation of replacement windows matching the originals where the originals were previously replaced with aluminum windows, and installation of a vented and fully demountable lexan protective panel system. It is the opinion of this office that all proposed work is fully consistent with the *Secretary of the Interior's Standards for Rehabilitation*. And therefore, will have no adverse effect on the historic character of the building.

Finally, this office requests that you submit an updated Florida Master Site File Historical Structure form for the DuBois Pioneer Home (8PB34B). Documentation for the building must include a completed Florida Master Site File Historical Structure form, current archival quality photographs (digital is acceptable if it meets our requirements) and a location map for the property. A copy of the structure form and digital photograph requirements (New Photo Submission Policy) can be downloaded at www.flheritage.com/preservation/sitefile.

If you have any questions concerning our comments, please contact Scott Edwards, Historic Preservationist, by electronic mail sedwards@dos.state.fl.us, or at 850-245-6333 or 800-847-7278.

Sincerely,

Laura A. Kammerer
Deputy State Historic Preservation Officer
For Review and Compliance

PC: Maria del Mar Lopez, FDEM

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Christian D. Davenport, MA, RPA.

4579 Emerald Vista #231
Lake Worth, Florida 33461

Phone: (561) 641-9465
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Current Position. Palm Beach County Archaeologist

HIGHLIGHTS OF QUALIFICATION

Over 20 years of experience in Cultural Resource Management on all phases of excavation including both prehistoric and historic sites from New Hampshire to Oaxaca, Mexico. Positions range from basic field technician to field school director. Excellent research, communication, organizational and laboratory skills. Experience in statistical analysis, testing and survey techniques. Familiar with most forms of Pleistocene megafauna. Worked on two new experimental chronometric dating techniques: an EPR dating project and SIMS (a new method of dating hydrated obsidian). Collected and analyzed artifacts using SIMS to develop a fully calibrated model of the hydrate process. **Computer skills:** *Word, Access, Excel, Power Point, WordPerfect, Lotus AmiPro, Lotus Word pro, Lotus 123, Lotus Approach, Paradox, SAS and NCSS.*

EDUCATION

M.A., Anthropology, University of Tennessee, Knoxville, TN, 1999. Concentration in zooarchaeology. Major GPA - 3.8, Overall GPA -3.66

A., Anthropology, Cum Laude, Franklin Pierce College, Rindge, NH, 1993. Concentration in archaeology. Major GPA - 3.78, Overall GPA - 3.49.

General Studies, Howard County Community College, Columbia, MD, 1990. Courses in advanced photography.

ARCHAEOLOGICAL ORGANIZATIONS

Florida Archaeological Council (FAC) 2005-Present

Council of Maryland Archaeologists (CfMA) 2003-2005

Registry of Professional Archaeologist (RPA) 1999-Present

International Congress of Archaeozoologists (ICAZ) 1995-Present

Archaeological Society of Maryland (ASM) 1978 -2005

Certified Archeological Technicians (CAT) Program Committee Chair 2003-2005

OCCUPATIONAL CERTIFICATES

OSHA Trench Safety 2003

OSHA 24-hour HAZMAT Certificate 2001

PADI Rescue Diver 1989

FIELD SCHOOLS

Antique Maritime Archaeological and Historical Society, MD - Learned various underwater excavation techniques (class work only), 1994.

Adams Point, NH - Learned various excavation techniques on a coastal Late Woodland Native American settlement, 1991.

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SPECIALIZED TRAINING

Classes/Seminars:

Received extensive training at the University of Tennessee in the identification of a number of animal taxa, including fish and freshwater mussels. Also trained in distinguishing human remains from animal remains. Have performed skeletal work up for several skeletons.

Zooarchaeology Laboratory: Anthropology 521- This was an intensive class that required learning most of the crania and post cranial remains of mammals, birds, reptiles and amphibians of Eastern North America.

Zooarchaeological Seminar (Taphonomy): Anthropology 522- Learned to distinguish faunal assemblages produced by humans versus those of animals be they canids, owls, or natural depositions.

Zooarchaeology Seminar (Osteichthyes): Anthropology 522 - an intensive class in fish osteology. In addition to learning the bones of the skull for various fish genera, species identifications, were made within certain genera when possible. Dr. Walter Klippel at the University of Tennessee taught both Anthropology 521 and 522 classes.

Zooarchaeology Seminar (Malacology): Anthropology 522- Dealt with fresh water mussels of the mid-continental United States. While this may seem geographically constrictive, most fresh water mussels are distributed across the country. Also analyzed fresh water gastropods (snails) and salt water mussels. Dr. Paul Parmalee taught anthropology 522.

Graduate and Undergraduate Level Human Osteology:

Graduate level Osteology taught by Dr. Murry Marks. Learned to identify both fragmentary and complete bones from the human skeleton. Undergraduate level Osteology taught by Dr. Howard Hecker. Learned to identify human remains.

BURIAL EXCAVATIONS

Goodwin 1999 to 2005:

Phase I Monitoring, Gala Site (Woodland Period) a Native American burial ground, Gala, VA.

Phase I Monitoring, St. Ann's Cemetery (18th to 19th century) curb removal, Annapolis, MD.

Phase III excavation Wactel/Stine family cemetery (18th to 19th century) Supervised the removal of 83 individuals from Washington Co., MD.

Phase I Monitoring Clagget's cemetery (early to mid 19th slave cemetery). in Talbot Co., MD.

Phase I Monitoring Laboring son's cemetery (early to mid 19th century freed black cemetery) in Frederick, MD.

Phase Ia Remote Sensing Survey St. Martin's Church Yard (18th-19th century) Anglican Church in Worchester Co., MD.

Phase III Excavation West family cemetery (18th-19th century) in Alexandria, VA.

Alexandria Archaeology January -June 1993

Phase III excavation Queen St. Cemetery (1700-1800s). Excavated over 20 burials in Alexandria, VA.

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HUMAN SKELETAL ANALYSIS

Goodwin 1999 to 2005:

Phase III Island of Vieques. Performed a full osteometric and paleopathological analysis of three skeletons including one child and several adults from pre-Columbian contexts on the Island of Vieques, PR.

Phase III Wactel/Stine family cemetery in Washington Co., MD. Analyzed 63 skeletons

Phase III West Family Cemetery. Aided in the identification of remains from seven individuals.

Franklin Pierce College Fall 1992

Phase III Clemet Family Cemetery. Analyzed two sets of human remains, one adult woman and one in utero fetus.

TEACHING EXPERIENCE

Spring 02, 03, 04, 05
Summer 2003
Fall 2004

University of Baltimore, Baltimore, MD

Introduction to Physical Anthropology: An introductory course focusing on physical anthropology.

Fall 00, 01, 03, 04
Summer 05

University of Baltimore, Baltimore, MD

Man in the Biological World: An interdisciplinary course focusing on medical anthropology encompassing issues of biology, ecology, demography and human health.

Fall 2002

Howard County Community College, Columbia, MD

Introduction to Human Geography: An introductory course on the principles of human geography.

Fall 2002

Howard County Community College, Columbia, MD

Introduction to Cultural Anthropology: An introductory course on the principles of cultural anthropology.

Summer 2002

Howard County Community College, Columbia, MD

Introduction to Cultural Geography: An introductory course on the principles of cultural geography.

Summer 2001

John Hopkins University, Baltimore, MD

The Fossil Trail: An introductory course focusing on physical anthropology and archaeology.

PUBLICATIONS

2003 Proceedings of
the 19th Mid-South
Archaeological
Conference

Late Quaternary Vertebrates of the Central Mississippi River Valley.
Published in: *Proceedings of the 19th Mid-South Archaeological Conference*
By: M. Ruddell and C. Davenport.

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- 1999 American Antiquity *Age of the Harrison Street Beast: Electro Paramagnetic Resonance Spectra from Tooth Enamel.* By: R. Weeks, M. Elam, J. Bogard, and C. Davenport. Submitted to: *American Antiquity*.
- 1999 U. of TN **MA Thesis:** *Estimating Sex and Weight of Odocoileus virginianus (Whitetail Deer) with Implications to Human Status at Toqua (40MR6).*
- 1998 International Journal of Osteology *A Histological Approach for Distinguishing the Postcrainal Material of Fossil and Recent Members of the Genus Equus.* Submitted to: *International Journal of Osteology.* By: C. Davenport and M. Ruddell.

PAPERS PRESENTED

- 2004 13th Annual Workshop in Archaeology Presented at MHT *The CAT Program: Scratch Below the Surface.* Discussion of the requirements of the Certified Archaeological Technician (CAT) Program.
- 03 Western & Monocacy Archeological Chapters of Maryland *Early Prehistory and Pleistocene Fauna in Maryland and North America.* Presented at the May meeting of the Western and Monocacy Archeological Chapters of Maryland.
- 2003 Upper Patuxent Archaeological Society of Maryland *Zooarchaeological Methods and Practices.* Presented at the May meeting of the Upper Patuxent Archaeological society.
- 2002 ICAZ Osteon Workshop *Distinguishing the Genus Equus Based on Microhistology.* Presented September 5-7, 2002 in conferences titled "Osteons: Their Use in Age Determination, Species Identification, and Differential Diagnosis" held at the Institut für Anthrologie, Universität Göttingen, Germany.
- 2000 Upper Patuxent Archaeology Society *Colonial Subsistence Practices in Maryland.* Presented at the February meeting of the Upper Patuxent Archaeological Society.
- 1999 Trail of Tears Conference *Determining Sex and Weight of Odocoileus virginianus (Whitetail Deer) with Implications to Human Status at Toqua (40MR6).* Presented at Trail of Tears Conference, Sweetwater, TN.
- 1998 ICAZ Meeting *A Demonstration of Two New Methods of Determining Sex and Weight of Odocoileus virginianus With Implication to Game Selection and Status.* Presented at International Congress of Archaeozoologists, Victoria, BC.

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- 1998 Mid South Archaeological Meeting *Quaternary Vertebrate Paleontology of the Mid-South: New Clues for Paleoindian Subsistence Strategies.* By: M. Ruddell and C. Davenport. Presented at the annual Mid-South Archaeological meeting dealing with Paleoindian subsistence in a nontraditional environment.
- 1998 SAA Meeting *EPR Analysis of Fossil Tooth Enamel: Signal Source and Composition.* By: R. Weeks, J.M. Elam, J. Bogard and C. Davenport. Presented at the annual meeting of the Society for American Archaeology.
- 1997 CRP *Late Quaternary Vertebrates of the Central Mississippi River Valley.* Published in: *Current Research of the Pleistocene.* By: M. Ruddell, R. Brister, J. Conoway, C. Davenport, P. Delcort, and R. Saucier.
- 1995 Society Vertebrate Paleontologists *Identification of Species of Equus from Cortical Bone Microstructure.* Poster presentation at the Society of Vertebrate Paleontologists dealing with differences between Equus species over time. electron spin resonance dating of fossil horse tooth enamel.

TECHNICAL REPORTS

- 2004 Goodwin *Report on the Human Remains from Washington County Cemetery (18WA470).* Analyzed 62 sets of human remains and placed them into a regional framework.
- 2003 Goodwin *Report on the Malacological Fauna from the Gulf of Mexico.* By C. Davenport and L. Riccard . A possible underwater prehistoric shell midden off the coast of Louisiana.
- 2002 Goodwin *Report on the Faunal Remains from Tudor Hall (18ST677).* A small colonial faunal collection from Saint Mary's County, MD.
- 2002 Goodwin *Report on the Faunal Remains from Ft. Detrick (18FR685).* A small historic faunal collection from Frederick County, MD.
- 2002 Goodwin *Report on the Faunal Remains from Brookeville Mill (18Mo460).* An 18th-19th century mill site.
- 2002 Goodwin *Report on the Faunal Remains from Brookeville (18Mo368).* An 18th-19th century house site.
- 02 Goodwin *Report on the Faunal Remains from Botany Bay (12VAM 3-12).* Precolumbian faunal assemblage from the Virgin Islands.
- 2002 Goodwin *Report on the Faunal Remains from PAX 2000.* An early 18th century house site.

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- 2002 Martha Williams *Report on the Faunal Remains from an early 18th century farmstead.*
- 2001 Goodwin *Report on the Faunal Remains from Federated Charity Privy. Report on animal remains from an early 19th century outhouse.*
- 2001 Goodwin *Cultural Resource Survey and Evaluation for The Four Seasons At Kent Island Queen Ann's County, MD. By C. Davenport, T. Davis, M. Williams, J. Tobey and J. Borneman.*
- 2001 Goodwin *Phase I Archeological Investigations for The Enyart Property Anne Arundel County, MD. By C. Davenport, M. Hornum and N. Patch.*
- 2001 Goodwin *Phase I Archeological Investigations for The Edmonston Property Howard County, MD. By C. Davenport and M. Hornum.*
- 2001 Goodwin *Report on the Faunal Remains from King's Creek. A 17th century Glazers Shop from Virginia.*
- 01 Goodwin *Report on the Human Remains from Sebana Seca. Identification of human remains from Puerto Rico*
- 2001 Goodwin *Report on the Faunal Remains from Cherry Point, NC. A small prehistoric faunal assemblage.*
- 2000 Goodwin *Phase I Archeological Survey for the Proposed Baltimore Transit Police Academy, Cherry Hill, Baltimore City, MD.*
- 2000 Goodwin *Report on the Faunal Remains from Three Sites on Kent Island. Three small faunal assemblages.*
- 2000 Goodwin *Report on the Faunal Remains from the West Family Cemetery (44AX183). Identified the small animal remains from within an 18th century family vault.*
- 2000 Goodwin *Report on the Faunal Remains from Homewood (18AN871) in Londontowne, MD. A colonial house site.*
- 2000 Goodwin *Report on the Faunal Remains from Rumney's Tavern (18AN48) in Londontowne, MD. A colonial tavern site.*
- 00 Goodwin *Report on the Faunal Remains from Oceana II (44VB219). A small faunal assemblage spanning many time periods in Virginia.*
- 2000 Goodwin *Report on the Faunal Remains from Indian Head (18CH673). A small faunal assemblage spanning many time periods in Virginia.*

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- 2000 Goodwin *Report on the Faunal Remains from Kings Creek.* A Colonial Period faunal assemblage in Virginia.
- 2000 Goodwin *Report on the Faunal Remains from Towneneck (18AN944).* An 18th century faunal assemblage.
- 1999 Goodwin *Report on the Faunal Remains from Moorefield (46HY89).* A Contact Period Native American burial ground in West Virginia.
- 1999 Goodwin *Report on the Faunal Remains from Patuxant Naval Air Station (PAX) (18ST407).* An elite 17th century Maryland household.
- 1999 Goodwin *Report on the Terrestrial Snail Remains from Sebana Seca.* Identified numerous species of land snails from the archaeological record. Also identified habitat and the earliest arrival of a non-native species.
- 1999 Goodwin *Report on the Faunal Remains from Stop 71/2 DO 59.* A Precolumbian site in Puerto Rico.
- 1999 Goodwin *Report on the Faunal Remains from PR5-12VPPR-200.* A Precolumbian site in Puerto Rico.
- 1999 Goodwin *Report on the Faunal Remains from Chiller Site (31CR52).* A small faunal assemblage spanning many time periods.
- 1999 Cultural Resource Analysts, Inc. *Report on the Faunal Remains from Argosee (12D520).* An early 19th- 20th century multi-structure historic site (Pl. A. Bradberry).
- 1999 U. of TN *Report on the Phase I Faunal Material Recovered from Tellico Reservoir.*
- 1999 U. of TN *Report on the Phase I Faunal Material Recovered from Cherokee Reservoir.*
- 1999 U. of TN *Report of the Phase III Faunal Material Recovered from the Tipton House (40LD179).* An early 19th- 20th century farmstead with slave quarters (Pl. S. Frankenberg).
- 1998 U. of TN *Report on the Freshwater Gastropods Recovered at Fort Loudon Reservoir 40KN15, Knox County, TN.* A multicomponent site spanning from the late archaic through the Mississippian phases including a late prehistoric Cherokee Village (Pl. S. Frankenberg).
- 1998 Kentucky Arch. Survey *Report on Logan's Fort Faunal Material 15LI95, KY.* A multicomponent site spanning from a Revolutionary War frontier fort to a 19th century farmstead (Pl. K. McBride).

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- 1998 U. of TN *Report on the Phase I Faunal Material Recovered at Fort Loundon Reservoir 40KN15. Knox County, TN. A multicomponent site spanning the Dallas phase Mississippian through a late prehistoric Cherokee Village (Pl. S. Frankenberg).*
- 1998 U. of TN *Report on the Phase I Faunal Material Recovered at Melton Hill Reservoir. Sites: 40AN83, 40AN85, 40AN79, 40AN15, 40AN114, 40AN115, AN4, 40KN156, 40KN170, 40KN171, 40KN175, and 40KN188 (Pl. S. Frankenberg).*
- 1998 U. of TN *Report on the Phase II Faunal Material Recovered at Rarity Bay 40LD179, Monroe County, TN. A historic farmhouse (Pl. S. Frankenberg).*
- 1998 Cultural Resource Analysts, Inc. *Report on the Faunal Remains from a Small Multicomponent Rock Shelter (15CU27) in Cumberland County, KY. An Upland Woodland/Mississippian site (Pl. A. Bradberry).*
- 1997 U. of TN *Report on the Phase II Faunal Material Recovered at Watts Bar Reservoir (Pl. J.M. Elam).*
- 1997 Indiana Purdue University *A Report on the Faunal Remains from the Richardville Site, A Prehistoric and Historic Miami Home in Fort Wayne. Allen County, IN (Pl. R. Jeske).*
- 1996 Hagerman Fossil Beds *First hand analysis of thin sectioned horse bone to set a precedent of microstructure morphology for the first "true" species of *Equus* (*Equus simplicidens*).*
- 1996 Indiana Purdue University *Faunal analysis of a possible Paleoindian horse kill from Fort Wayne, IN (Pl. R. Jeske).*
- 1995 John Milner Associates *Shepherdstown, WV (46JF325) Faunal Remains. Phase III faunal report for site 46JF325. A Late Woodland village site located along the Potomac River in West Virginia (Pl. S. Fiedel).*
- 1995 Dept. of Transportation U. of TN *Roane County, TN (40RE192) Faunal Remains. Phase II faunal report of an 18th century historic farm site located in central Tennessee. (Pl. C. Bentz). Report by C. Davenport and W. Klippel.*
- 1993 Franklin Pierce College **Honors Thesis:** *Estimations of Human Population Size at Adams Point New Hampshire During the Late Middle Woodland. Initial analysis of faunal material from Adams Point, NH. Made inferences of meat ratios duration occupation and estimation of human population. **Thesis was cited in the site report, which was submitted to state archaeologist (Pl. H. Hecker).***

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- 1992 Franklin Pierce College
Faunal Report on Adams Point New Hampshire NH40-14 and NH40-14A 1991 Summer Excavation. Analyzed initial data from an archaeological field school, determined number of individual specimens present (NISP), determined the minimum number of individuals present (MNI), meat ratios, and described the bone tool assemblage present at the site (Pl. H. Hecker).
- 1991 Franklin Pierce College
Report and Analysis Burial 4 "B" and 5. Analyzed two human burials from the Clement Site, NH 39-3 Burial 4 "B" and 5. Determined race, age at death, and sex for the adult and estimated age for the inutero fetus.

WORK EXPERIENCE

Aug. 99- May 05

R. Christopher Goodwin Associates, Frederick, MD

- Phase I, APM, Gala 44BO48, Gala, VA (C. Polglase).
- Phase I, APM, Otho Williams, Ann Arundle Co., MD (C. Child).
- Phase I, APM, Monitoring Church Circle Cemetery Annapolis, MD (W. Lowthert).
- Phase III, APM, Washington Co. Cemetery, Washington Co., MD (W. Lowthert).
- Phase I, APM, Clagget Cemetery, Charles Co., MD (W. Lowthert).
- Phase I, APM, Aberdeen Proving Grounds, Harford Co., MD (T. Davis).
- Phase I, APM, Laboring Sons Cemetery, Frederick Co., MD (C. Polglase).
- Phase II, APM, Barton Outfall, Allegheny Co., MD (J. Maymon).
- Phase II, APM, Collington North, Prince Georges Co., MD (M. Hornum).
- Phase II, APM, Shrewsbury, PA (M. Hornum).
- Phase I/II, APM, Weston USPTO, Alexandria, VA (M. Williams).
- Phase I, Crew Chief, SHA St. Martins (Ph. II), Worcester Co., MD (A. Markel).
- Phase I, Crew Chief, Dena Frederick, Frederick Co., MD (M. Hornum).
- Phase I, Crew Chief, Ballenger Creek, Frederick Co., MD (M. Hornum).
- Phase I, Crew Chief, Hunterstown Pipeline, Adams Co., PA (M. Hornum).
- Phase I, Crew Chief, Maravista Property, Anne Arundel Co., MD (M. Hornum).
- Phase III, Crew Chief, SHA Mt. Aetna, Washington Co., MD (W. Lowthert).
- Phase II, Crew Chief, Kent Island, Queen Ann's Co., MD (T. Davis).
- Phase II, Crew Chief, St. Martin's Churchyard, Worcester Co., MD (A. Markel).
- Phase I, Crew Chief, Carolstown Property, Anne Arundel Co., MD (M. Hornum).
- Phase I, Crew Chief, Offutt Property, Frederick Co., MD (M. Hornum).
- Phase I, Crew Chief, Enyart Property, Anne Arundel Co., MD (M. Hornum).
- Phase I, Crew Chief, Edmonston Property, Howard Co., MD (M. Hornum).
- Phase I, Crew Chief, Gunston Hall Apts., Alexandria, VA (D. Saldo).
- Phase I, Crew Chief, Baltimore Transit Police, Cherryhill, MD (T. Davis).
- Phase I, Crew Chief, Fairwood Properties, Prince Georges Co., MD (M. Hornum).
- Phase II, Crew Chief, Hoffman (18th Century Burial) Alexandria, VA (M. Williams).
- Phase I, Crew Chief, FGT 5, FL.

May- August 1999

Tennessee Valley Authority (TVA), Norris, TN

Various duties concerning archaeological resources within the Tennessee River

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- Valley.
- Dec.96- Aug. 1999 **University of Tennessee, Knoxville, TN**
Phase I, Senior Chief, Cherokee Reservoir (PI. S. Frankenberg).
Phase I, Crew Chief, Cherokee Reservoir (PI. J.M. Elam).
Phase III, Crew Chief, Rarity Bay (PI. S. Frankenberg).
Phase I & II, Crew Chief, Tellico Reservoir (PI. J.M. Elam).
Phase II, Crew Chief, Centers Ferry (PI. J.M. Elam).
Phase I, Field Technician, Cherokee Reservoir (PI. J.M. Elam).
Phase I, Field Technician, Tellico Reservoir (PI. J.M. Elam).
Phase II, Field Technician, Watts Barr Reservoir.
- September 1997 **Dept. of Transportation University of Tennessee, Knoxville, TN**
Analyzed the faunal remains from site number 40GL68 for H. Matternes.
- June-Aug. 1997 **Wilbur Smith Associates, Lexington, KY**
Assisted S. Coughlin with the analysis of Camp Nelson, a Civil War camp in Jessamine Co., KY. Sites 15JS96, 15JS97 and 15JS113 (PI. S. McBride).
- Aug 1997 -
Aug 1996 **Pink Palace Museum, Memphis, TN**
Research Associate on the Conoway collection. A collection of Pleistocene megafauna remains from the central Mississippi alluvial valley (R. Bristier).
- June-July 1995 **John Milner and Associates, Alexandria, VA**
Phase I, Field Technician, Lee County, VA. (PI. S. Fiedel).
Phase III, Field Technician, Shepherdstown, WV. (PI. S. Fiedel).
- August 1994 **Joseph Hopkins Associates Inc., Baltimore, MD**
Phase I, Field Technician.
- June-July 1994 **Franklin Pierce College, Durham, NH**
Field Director, field school (PI. H. Hecker).
- Feb.-June 1994 **Alexandria Archaeology, Alexandria, VA**
Phase III, Field Technician, excavation of Quaker cemetery.
- June 1993 -
Feb. 1994 **Greenhorn & O'Mara, Beltsville, MD**
Phase I & II, Field Technician, Somerset, PA. (Chief J. Sparenburg).
Lab work (Jan. 1994).
Phase I Field Technician, Pulte Realty, Lorton, VA. (Jan.-Feb. 1994).
- January 1992 **Epoch, Dunkirk, MD**
Phase I, Field Technician, Laurel, MD. (PI. D. Myeres and D. Link).
- June 1985-1986 **Howard County Parks and Recreation, Ellicott City, MD**
Archaeological Assistant, organized and ran the field school at Simpsonville Mill, Simpsonville, MD. (PI. L. Preston).

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Summer 1983-1984 **Upper Patuxent Archaeological Society, Ellicott City, MD**
Simpsonville Mill, Field Technician, Simpsonville, MD (Pl. L. Preston).

Summer 1978-1986 **Assisted in various Mid-Atlantic area excavations.** (Volunteer).

REFERENCES

Mr. Chris Polglase, MA.
7508 Ridge, Rd.
Frederick, MD 21702
Home: 301-371-7809
Email: CRPOBSID@aol.com

Mr. Michael Hornum, PhD.
11515 Shellflower Rd.
Columbia, MD 21044
Home: 410-715-4890
Email: Jonah1010@aol.com

Ms. Martha Williams MA. M.Ed.
7129 Oakland Ave.
Falls Church, VA 22042
Home: 703-573-3769
Email: Mwilliamslonomo@aol.com

Mr. Walter E. Klippel, Ph.D.
University of Tennessee
252 South Stadium Hall
Knoxville, TN 37996
(423) 974-4408