

34-3

Meeting Date: September 13, 2016      ☒ Consent      ☐ Regular  
    ☐ Ordinance      ☐ Public Hearing

## I. EXECUTIVE BRIEF

**Summary:** The work consists of the removal and replacement of rotted/damaged cedar shake roof at the Yamato Kan Museum as well as removal and replacement of existing asphalt shingle roofing system and fascia repairs at the Caretaker's Residence. This project is budgeted as part of the Five (5) Year Countywide Repair, Replacement and Renovation program. This work was competitively bid amongst the pool of seven (7) annual Roofing contractors with Hi-Tech Roofing & Sheet Metal, Inc., a Palm Beach County business, submitting the lowest responsive, responsible bid. Hi-Tech Roofing & Sheet Metal is a Small Business Enterprise (SBE) and participation for this work order is 100%. The construction duration is 60 days. **(Capital Improvements Division) District 5 (LDC)**

**Attachments:**

1. Location Map
2. Budget Availability Statement
3. Bid Summary
4. Work Order 16-076

Date \_\_\_\_\_

Date \_\_\_\_\_

## II. FISCAL IMPACT ANALYSIS

### A. Five Year Summary of Fiscal Impact:

Fiscal Years	2016	2017	2018	2019	2020
Capital Expenditures	\$263,312.50	\$0	\$0	\$0	\$0
Operating Costs	\$19,937.50	0	0	0	0
External Revenues	0	0	0	0	0
Program Income (County)	0	0	0	0	0
In-Kind Match (County)	0	0	0	0	0
NET FISCAL IMPACT	\$283,250.00	\$0	\$0	\$0	\$0
# Additional FTE Positions (Cumulative)	0	0	0	0	0

Is Item Included in Current Budget: Yes   x   No       

Budget Account No:

<b>Fund:</b>	<b>0001</b>	<b>Dept:</b>	<b>580</b>	<b>Unit:</b>	<b>5238</b>	<b>Obj:</b>	<b>4611</b>	<b>\$19,937.50</b>
<b>Fund:</b>	<b>3804</b>	<b>Dept:</b>	<b>411</b>	<b>Unit:</b>	<b>B613</b>	<b>Obj:</b>	<b>4907</b>	<b>\$75,000.00</b>
<b>Fund:</b>	<b>3804</b>	<b>Dept:</b>	<b>411</b>	<b>Unit:</b>	<b>B578</b>	<b>Obj:</b>	<b>4907</b>	<b>\$188,312.50</b>

Reporting Category \_\_\_\_\_

**B. Recommended Sources of Funds/Summary of Fiscal Impact:**

Funding for this project is from the Five Year Countywide Repair, Replacement and Renovation Program.

CONSTRUCTION	\$257,500.00
CONTINGENCY	<u>\$ 25,750.00</u>
	\$283,250.00

### C. Departmental Fiscal Review:

### III. REVIEW COMMENTS

**A. OFMB Fiscal and/or Contract Development & Control Comments;**

OFMB ET 8/24 8/28 <sup>EB</sup> 8/24

Dr. J. Jackson 9/21/16  
Contract Development & Control  
9/21/16

### A. Legal Sufficiency:

Julia C. [Signature] 9/2/14  
Assistant County Attorney

**A. Other Department Review:**

Department Director

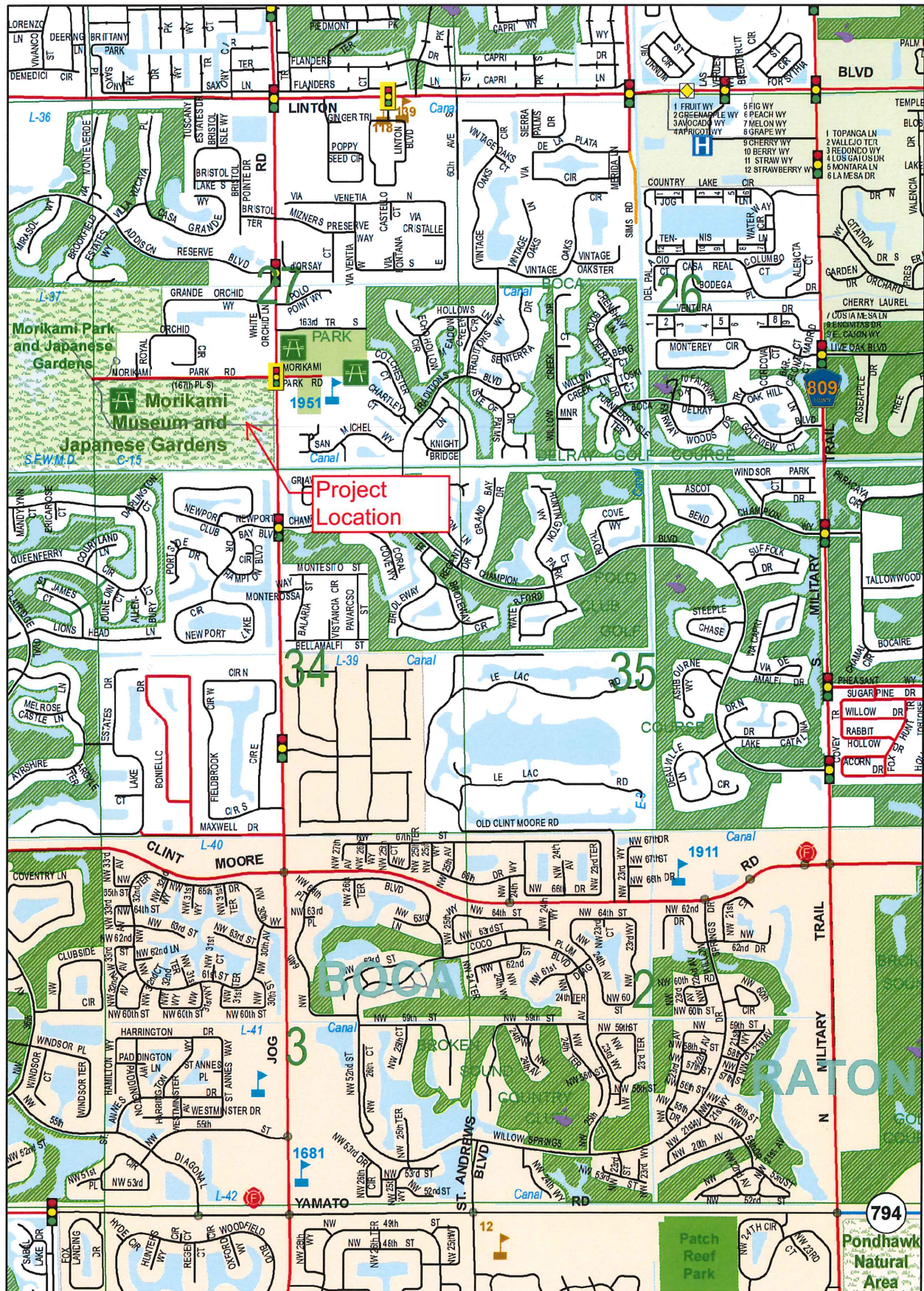
This summary is not to be used as a basis for payment.



TWP 46

TWP 46

TWP 47





BUDGET AVAILABILITY STATEMENT

REQUEST DATE: 7/21/16

REQUESTED BY: Bill Munker *BM*

PHONE: 233-0265

PROJECT TITLE: Morikami Yamato Kan – cedar shake roof replacement

PROJECT NO.: 16347

LOCATION: 4000 Morikami Park Road, Delray Beach

LOCATION DESCRIPTION: Morikami Yamato Kan

BUILDING NUMBER: 346

CONTRACTOR/CONSULTANT NAME: Hi-Tech Roofing & Sheetmetal

PROVIDE A BRIEF STATEMENT OF THE SCOPE OF SERVICES TO BE PROVIDED BY THE CONSULTANT/CONTRACTOR: Furnish all material, labor, supervision, permits and supplies necessary and reasonably incidental to remove existing cedar shake roof per the requirements provided by Capital Improvements Division.

CONSTRUCTION	\$239,375.00
ARCHITECT/ENGINEER/CONSULTANT	NA
STAFF COSTS*	\$ 6,765.00
EQUIPMENT/ OTHER	NA
CONTINGENCY	\$ 23,937.50
TOTAL	\$270,077.50

*263,312.50*

\*By signing this BAS your department agrees to these staff costs and your account will be charged upon receipt of this BAS by FD&O. Unless there is a change in the scope of work, no additional staff charges will be billed. If this BAS is for construction costs of \$250,000 or greater, staff charges will be billed as actual and reconciled at the end of the project.

BUDGET ACCOUNT NUMBERS (IDENTIFY ALL SOURCES) FUNDING SOURCE (CHECK ALL THAT APPLY)

*3804-411-B613-4907-75,000*

*3804-411-B578-4907-164,375*

FUND: DEPT: UNIT: OBJ: SUBOBJ:

☒ AD VALOREM ☐ OTHER / GRANT(S) ☐ FEDERAL/DAVIS BACON

If Grant(s), specify name of Grant(s): \_\_\_\_\_

SUBJECT TO INSPECTOR GENERAL FEE ☐ YES ☐ NO

BAS APPROVED BY *[Signature]* DATE: *8/9/16*

ENCUMBRANCE NUMBER: \_\_\_\_\_

BUDGET AVAILABILITY STATEMENT

REQUEST DATE: 7/21/16

REQUESTED BY: Bill Munker

PHONE: 233-0265

PROJECT TITLE: Morikami - Caretaker's Home - cedar shake roof replacement

PROJECT NO.: 16347

LOCATION: 4000 Morikami Park Road, Delray Beach

LOCATION DESCRIPTION: Morikami Yamato Kan

BUILDING NUMBER: 348

CONTRACTOR/CONSULTANT NAME: Hi-Tech Roofing & Sheetmetal

PROVIDE A BRIEF STATEMENT OF THE SCOPE OF SERVICES TO BE PROVIDED BY THE CONSULTANT/CONTRACTOR: Furnish all material, labor, supervision, permits and supplies necessary and reasonably incidental to remove existing cedar shake roof per the requirements provided by Capital Improvements Division.

CONSTRUCTION	\$18,125.00
ARCHITECT/ENGINEER/CONSULTANT	NA
STAFF COSTS*	\$ <del>7,725.00</del> 960.00
EQUIPMENT/ OTHER	NA
CONTINGENCY	\$ 1,812.50
TOTAL	\$27,662.50 20,897.50

\*By signing this BAS your department agrees to these staff costs and your account will be charged upon receipt of this BAS by FD&O. Unless there is a change in the scope of work, no additional staff charges will be billed. If this BAS is for construction costs of \$250,000 or greater, staff charges will be billed as actual and reconciled at the end of the project.

BUDGET ACCOUNT NUMBERS (IDENTIFY ALL SOURCES) FUNDING SOURCE (CHECK ALL THAT APPLY)

FUND: 0001 DEPT: 580 UNIT: 5230 OBJ: 4611 SUBOBJ:  
☒ AD VALOREM ☐ OTHER / GRANT(S) ☐ FEDERAL/DAVIS BACON

If Grant(s), specify name of Grant(s):

SUBJECT TO INSPECTOR GENERAL FEE ☐ YES ☐ NO

BAS APPROVED BY: PDC W. E. Cole DATE:

ENCUMBRANCE NUMBER:

# BID SUMMARY

Project Name: Morikami Yamato Kan - Cedar Shake Roof Replacement		
Project No. 16347		
Bid Opening Date: July 14, 2016		
CONTRACTOR	HI-TECH	ADVANCED
BID	\$257,500.00	\$275,650.00
ADDENDUM 1 ACKNOWLEDGED	√	X
ATTACHMENT 2 (SBE SCHEDULE 1)	100%	0%
ATTACHMENT 2 (SBE SCHEDULE 2)	√	√

Bid Documents opened by: pl

Bids Documents recorded by: pl

Note: Tabulation is not official until checked and certified by Capital Improvements Division

pl

WORK ORDER  
Work Order #16-076  
Annual Contract: Roofing  
R-2015-1782

To: HI-TECH Roofing & Sheet Metal, Inc.  
2266 4<sup>th</sup> Avenue  
Lake Worth, FL 33461  
Attention: Mr. Michael Daley

Project Location: 4000 Morikami Park Road, Delray Beach (7301327)  
Project # 16347  
Title: Morikami - Yamato Kan - cedar shake roof replacement  
Scope of Work: Remove existing cedar shake roof and associated components, provide and install a new complete cedar shake roof per the requirements provided by Capital Improvements Division.  
Amount of W.O.: \$257,500.00  
Requisition Date: 8/10/16  
Account Number: 3804-411-B613-4907 \$75,000.00 (FDO-16ROOF)  
3804-411-B578-4907 \$164,375.00  
0001-580-5238-4611 \$18,125.00  
Vendor Code: VC0000008741  
District #: 5

PBC Representative:

Capital Improvements Division

Date

Approval:

Director, Facilities Development & Operations

Date

Approval:

Board of County Commissioners

Date

Acknowledgment:

HI-TECH Roofing & Sheet Metal, Inc.

Date

SBE % Participation to Date 80%  
SBE % Participation this W.O. 100%  
\*Specific Goals for this Contract are 15%

COPIES TO: ☐ Contract Development & Control  
☐ Finance  
☐ Fixed Assets  
☐ FDO

APPROVED AS TO FORM  
AND LEGAL SUFFICIENCY

BY

County Attorney

CFN 20160288465  
OR BK 28502 PG 0057  
RECORDED 08/12/2016 11:08:37  
Palm Beach County, Florida  
Sharon R. Bock, CLERK & COMPTROLLER  
Pg 0057 - 61; (5pgs)

**PUBLIC CONSTRUCTION BOND**

BOND NUMBER 58731803

BOND AMOUNT \$257,500.00

CONTRACT AMOUNT \$257,500.00

CONTRACTOR'S NAME: Hi-Tech Roofing & Sheet Metal, Inc.

CONTRACTOR'S ADDRESS: 2266 4<sup>th</sup> Avenue North, Lake Worth, FL 33461

CONTRACTOR'S PHONE: 561-586-3110

SURETY COMPANY: Western Surety Company

SURETY'S ADDRESS: 2405 Lucien Way  
Maitland, FL 32751

SURETY'S PHONE: (407) 919-3945

OWNER'S NAME: PALM BEACH COUNTY BOARD OF COUNTY COMMISSIONERS  
CAPITAL IMPROVEMENTS DIVISION

OWNER'S ADDRESS: 2633 Vista Parkway  
West Palm Beach, FL 33411-5604

OWNER'S PHONE: (561) 233-0261

PROJECT NAME: Morikami Yamato Kan - Cedar Shake Roof Replacement

PROJECT NUMBER: 16347

DESCRIPTION OF WORK: Remove and replace existing cedar shake roof and all components down  
to wood deck on main building and caretaker's house.

PROJECT LOCATION: 4000 Morikami Park Road, Delray Beach, FL 33446

LEGAL DESCRIPTION: 00-42-46-28-00-000-5010

This Bond is issued in favor of the County conditioned on the full and faithful performance of the Contract.

Morikami Yamato Kan-Cedar Shake Roof Replacement  
10/2/12

Public Construction Bond - 1

M.L.  
8.12.16



KNOW ALL MEN BY THESE PRESENTS: that Contractor and Surety, are held and firmly bound unto:

Palm Beach County Board of County Commissioners  
301 N. Olive Avenue  
West Palm Beach, Florida 33401

as Obligee, herein called County, for the use and benefit of claimant as herein below defined, in the amount of:

Two Hundred Fifty Seven Thousand Five Hundred Dollars and 00/100 (\$257,500.00)  
(Here insert a sum equal to the Contract Price)

for the payment whereof Principal and Surety bind themselves, their heirs, personal representatives, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS,

Principal has by written agreement entered into a contract with the County for:

Project Name: Morikami Yamato Kan – Cedar Shake Roof Replacement  
Project No.: 16347

in accordance with Drawings and Specifications prepared by:

NAME OF ARCHITECTURAL FIRM: N/A  
LOCATION OF FIRM:  
PHONE:  
FAX:

which contract is by reference made a part hereof in its entirety, and is hereinafter referred to as the Contract.

THE CONDITION OF THIS BOND is that if Principal:

1. Performs the contract between Principal and County for the construction of Morikami Yamato Kan – Cedar Shake Roof Replacement, Project No. 16347, the contract being made a part of this bond by reference, at the times and in the manner prescribed in the contract; and
2. Promptly makes payments to all claimants, as defined in Section 255.05, Florida Statutes, supplying Principal with labor, materials, or supplies, used directly or indirectly by Principal in the prosecution of the work provided for in the contract; and
3. Pays County all losses, damages (including liquidated damages), expenses, costs, and attorneys' fees, including appellate proceedings, that County sustains because of a default by Principal under the contract; and

4. Performs the guarantee of all work and materials furnished under the contract for the time specified in the contract, then this bond is void; otherwise it remains in full force.


5. Any changes in or under the contract documents and compliance or noncompliance with any formalities connected with the contract or the changes does not affect Surety's obligation under this bond and Surety waives notice of such changes.


6. The amount of this bond shall be reduced by and to the extent of any payment or payments made in good faith hereunder, inclusive of the payment by Surety of construction liens which may be filed of record against said improvement, whether or not claim for the amount of such lien be presented under and against the bond.

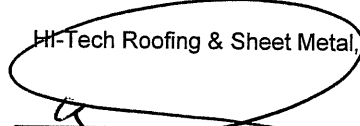
7. Principal and Surety expressly acknowledge that any and all provisions relating to consequential, delay and liquidated damages contained in the contract are expressly covered by and made a part of this Performance, Labor and Material Payment Bond. Principal and Surety acknowledge that any such provisions lie within their obligations and within the policy coverages and limitations of this instrument.


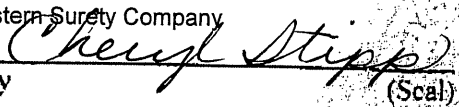
Section 255.05, Florida Statutes, as amended, together with all notice and time provisions contained therein, is incorporated herein, by reference, in its entirety. Any action instituted by a claimant under this bond for payment must be in accordance with the notice and time limitation provisions in Section 255.05(2), Florida Statutes. This instrument regardless of its form, shall be construed and deemed a statutory bond issued in accordance with Section 255.05, Florida Statutes.

Any action brought under this instrument shall be brought in the court of competent jurisdiction in Palm Beach County and not elsewhere.

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Witness

  
\_\_\_\_\_  
Principal Michael J. Daley (Seal)

  
\_\_\_\_\_  
Title  
Western Surety Company  
  
\_\_\_\_\_  
Surety (Seal)

Cheryl Stipp, Attorney-In-Fact

\_\_\_\_\_  
Print Name

# Western Surety Company

## POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

**Dirk D De Jong, Cheryl Stipp, Dora Villavicencio, Individually**

of Pompano Beach, FL, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

### - In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 8th day of July, 2015.



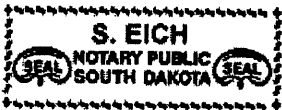
WESTERN SURETY COMPANY

Paul T. Bruflat  
Paul T. Bruflat, Vice President

State of South Dakota } ss  
County of Minnehaha }

On this 8th day of July, 2015, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires  
February 12, 2021



S. Eich  
S. Eich, Notary Public

### CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this 11th day of August, 2016



WESTERN SURETY COMPANY

L. Nelson  
L. Nelson, Assistant Secretary

**Authorizing By-Law**

**ADOPTED BY THE SHAREHOLDERS OF WESTERN SURETY COMPANY**

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the shareholders of the Company.

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, and Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

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**FORM OF GUARANTEE**

GUARANTEE FOR: Hi-Tech Roofing & Sheet Metal, Inc. and (Surety Name) \_\_\_\_\_

Western Surety Company

We the undersigned hereby guarantee that the MORIKAMI YAMATO KAN – CEDAR SHAKE ROOF REPLACEMENT, PROJECT NO. 16347, Palm Beach County, Florida, which we have constructed and bonded, has been done in accordance with the plans and specifications; that the work constructed will fulfill the requirements of the guaranties included in the Contract Documents. We agree to repair or replace any or all of our work, together with any work of others which may be damaged in so doing, that may prove to be defective in the workmanship or materials within a period of one year from the date of Substantial Completion of all of the above named work by the County of Palm Beach, State of Florida, without any expense whatsoever to said County of Palm Beach, ordinary wear and tear and unusual abuse or neglect excepted by the County. When correction work is started, it shall be carried through to completion.

In the event of our failure to acknowledge notice, and commence corrections of defective work within five (5) working days after being notified in writing by the Board of County Commissioners, Palm Beach County, Florida, we, collectively or separately, do hereby authorize Palm Beach County to proceed to have said defects repaired and made good at our expense and will honor and pay the costs and charges therefore upon demand.

DATED \_\_\_\_\_  
(Date to be filled in at substantial completion)

**SEAL AND NOTARIAL ACKNOWLEDGMENT OF SURETY**

Hi-Tech Roofing & Sheet Metal, Inc.

\_\_\_\_\_  
(Contractor)

\_\_\_\_\_  
(Seal)

By: \_\_\_\_\_

\_\_\_\_\_  
(Signature)

Western Surety Company

\_\_\_\_\_  
(Surety)

\_\_\_\_\_  
(Seal)

By: \_\_\_\_\_

\_\_\_\_\_  
(Signature)

Dora Villavicencio

\_\_\_\_\_  
(Print Name)



# Western Surety Company

## POWER OF ATTORNEY APPOINTING INDIVIDUAL ATTORNEY-IN-FACT

Know All Men By These Presents, That WESTERN SURETY COMPANY, a South Dakota corporation, is a duly organized and existing corporation having its principal office in the City of Sioux Falls, and State of South Dakota, and that it does by virtue of the signature and seal herein affixed hereby make, constitute and appoint

**Dirk D De Jong, Cheryl Stipp, Dora Villavicencio, Individually**

of Pompano Beach, FL, its true and lawful Attorney(s)-in-Fact with full power and authority hereby conferred to sign, seal and execute for and on its behalf bonds, undertakings and other obligatory instruments of similar nature

### - In Unlimited Amounts -

and to bind it thereby as fully and to the same extent as if such instruments were signed by a duly authorized officer of the corporation and all the acts of said Attorney, pursuant to the authority hereby given, are hereby ratified and confirmed.

This Power of Attorney is made and executed pursuant to and by authority of the By-Law printed on the reverse hereof, duly adopted, as indicated, by the shareholders of the corporation.

In Witness Whereof, WESTERN SURETY COMPANY has caused these presents to be signed by its Vice President and its corporate seal to be hereto affixed on this 12th day of June, 2015.



WESTERN SURETY COMPANY

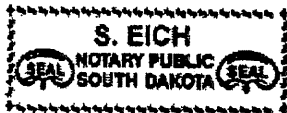
Paul T. Bruflat, Vice President

State of South Dakota }  
County of Minnehaha } ss

On this 12th day of June, 2015, before me personally came Paul T. Bruflat, to me known, who, being by me duly sworn, did depose and say: that he resides in the City of Sioux Falls, State of South Dakota; that he is the Vice President of WESTERN SURETY COMPANY described in and which executed the above instrument; that he knows the seal of said corporation; that the seal affixed to the said instrument is such corporate seal; that it was so affixed pursuant to authority given by the Board of Directors of said corporation and that he signed his name thereto pursuant to like authority, and acknowledges same to be the act and deed of said corporation.

My commission expires

February 12, 2021



S. Eich, Notary Public

### CERTIFICATE

I, L. Nelson, Assistant Secretary of WESTERN SURETY COMPANY do hereby certify that the Power of Attorney hereinabove set forth is still in force, and further certify that the By-Law of the corporation printed on the reverse hereof is still in force. In testimony whereof I have hereunto subscribed my name and affixed the seal of the said corporation this \_\_\_\_\_ day of \_\_\_\_\_.



WESTERN SURETY COMPANY

L. Nelson, Assistant Secretary

**Authorizing By-Law**

**ADOPTED BY THE SHAREHOLDERS OF WESTERN SURETY COMPANY**

This Power of Attorney is made and executed pursuant to and by authority of the following By-Law duly adopted by the shareholders of the Company.

Section 7. All bonds, policies, undertakings, Powers of Attorney, or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, and Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile.

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Only questions received in writing will be responded to regarding this solicitation for quote.  
Questions may be e-mailed to [ALongo@pbcgov.org](mailto:ALongo@pbcgov.org)

**QUOTATION FORM**

The Quotation Form shall be enclosed in a sealed opaque envelope. The envelope shall be addressed as follows:

**16347  
Morikami Yamato Kan – Cedar Shake Roof Replacement  
Capital Improvements Division  
2633 Vista Parkway  
West Palm Beach, Florida 33411  
Attention: Anthony Longo**

No responsibility will be attached to the Owner for premature opening of or failure to open a quotation not properly identified. **If the quotation is sent by mail, the sealed envelope shall be enclosed in a separate mailing with the notation "SEALED QUOTE ENCLOSED" on the face thereof.**

**PROJECT:** Morikami Yamato Kan - Cedar Shake Roof Replacement

**PROJECT NO.:** 16347

**DUE:** Thursday, July 14, 2016 at 2:00PM

**RETURN TO:** Anthony Longo, Manager  
Capital Improvements Division  
2633 Vista Parkway  
West Palm Beach, FL 33411

SCOPE OF WORK: This quotation is to furnish all material, labor, supervision, permits and supplies necessary and reasonably incidental to remove existing cedar shake roof and associated components, provide and install a new complete cedar shake roof per the requirements provided by Capital Improvements Division. **Work to be done under Palm Beach County's Annual Roofing Contract.**

The complete quote package contains the Quotation Form, Schedule 1(List of Proposed SBE/MWBE Subcontractors) and Schedule 2 (Letter of Intent to Perform as an SBE or MWBE Subcontractor). The complete quote package must be returned in order to receive credit for SBE Preference.

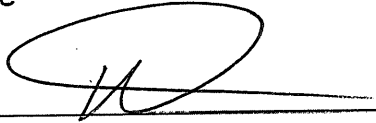
TOTAL QUOTE AMOUNT

\$ 257,500.00

Written amount Two Hundred Fifty Seven Thousand - Five Hundred Dollars.

QUOTATION PROVIDED BY: Hi-Tech Roofing & Sheet Metal  
Contractor Name

July 14, 2016  
Date

  
Signature

President  
Title

*Quotations Must Contain Original Signatures. No Copies or Faxed Quotes Will Be Accepted*

**SCHEDULE 1  
LIST OF PROPOSED SBE-M/WBE PARTICIPATION**

PROJECT NO. OR BID NO.: 16347

PROJECT NAME OR BID NAME: Morikami Yamato Kan - Cedar Shake Roof Replacement

NAME OF PRIME BIDDER: Hi-Tech Roofing & Sheet Metal

ADDRESS: 2266 4th Avenue N., Lake Worth FL 33461

CONTACT PERSON: Michael J. Daley

PHONE NO.: 561-586-3110 FAX NO.: 561-586-5198

BID OPENING DATE: July 14, 2016

USER DEPARTMENT: Procurement

THIS DOCUMENT IS TO BE COMPLETED BY THE PRIME CONTRACTOR AND SUBMITTED WITH BID PACKET. PLEASE LIST THE NAME, CONTACT INFORMATION AND DOLLAR AMOUNT AND/OR PERCENTAGE OF WORK TO BE COMPLETED BY ALL SBE -M/WBE's ON THIS PROJECT. IF THE PRIME IS AN SBE-M/WBE, PLEASE ALSO LIST THE NAME, CONTACT INFORMATION AND DOLLAR AMOUNT AND/OR PERCENTAGE OF WORK TO BE COMPLETED BY THE PRIME ON THIS PROJECT. THE PRIME AFFIRMS THAT IT WILL MONITOR THE SBES LISTED TO ENSURE THE SBES PERFORM THE WORK WITH ITS OWN WORKFORCE.

		(Check one or both Categories)					DOLLAR AMOUNT AND/OR PERCENTAGE OF WORK				
Name, Address and Phone Number		M/WBE	SBE	Black	Hispanic	Women	Caucasian	Other (Please Specify)			
		Minority Business	Small Business								
Hi-Tech Roofing & Sheet Metal 2266 4th Avenue North Lake Worth, FL 33461	561-586-3110	<input type="checkbox"/>	<input checked="" type="checkbox"/>								
2.		<input type="checkbox"/>	<input type="checkbox"/>								
3.		<input type="checkbox"/>	<input type="checkbox"/>								
4.		<input type="checkbox"/>	<input type="checkbox"/>								
5.		<input type="checkbox"/>	<input type="checkbox"/>								

(Please use additional sheets if necessary)

Total Bid Price \$ 257,500.00

Total

Total SBE/M/WBE Participation Dollar Amount and/or Percentage of Work 100%

I hereby certify that the above information accurate to the best of my knowledge:

Signature

Title

- NOTE: 1. The amount listed on this form for a SBE-M/WBE Prime or Subcontractor must be supported by price or percentage listed on the signed Schedule 2 or signed proposal in order to be counted toward goal attainment.
2. Firms may be certified by Palm Beach County as an SBE and/or M/WBE. If firms are certified as both an SBE and M/WBE, please indicate the dollar amount and/or percentage under the appropriate category.
3. M/WBE information is being collected for tracking purposes only.

Revised 7/2/2013



OSBA SCHEDULE 2  
LETTER OF INTENT TO PERFORM AS AN SBE-M/WBE

This document must be completed by ALL SBE-M/WBE's and submitted with this bid packet. Specify in detail, the particular work items to be performed and the dollar amount and/or percentage for each work item. SBE credit will only be given for items which the SBE-M/WBE's is certified to perform. Failure to properly complete Schedule 2 will result in your SBE participation not being counted.

PROJECT NUMBER: 16347 PROJECT NAME: Morikami Yamato Kan - Cedar Shake Roof Replacement

TO: Hi-Tech Roofing & Sheet Metal, Inc  
(Name of Prime Bidder)

The undersigned is certified by Palm Beach County as a - (check one or more, as applicable):

Small Business Enterprise X Minority Business Enterprise \_\_\_\_\_

Black \_\_\_\_\_ Hispanic \_\_\_\_\_ Women \_\_\_\_\_ Caucasian \_\_\_\_\_ Other (Please Specify) \_\_\_\_\_

Date of Palm Beach County Certification: December 16, 2016

The undersigned is prepared to perform the following described work in connection with the above project. Additional Sheets May Be Used As Necessary

Line Item/ Lot No.	Item Description	Qty/Units	Unit Price	Total Price/ Percentage
	<u>Remove roof-Replace w/ new roof system per PBC requirements</u>	<u>1</u>	<u>257,500.00</u>	<u>257,500.00/100%</u>

at the following price or percentage N/A  
(SBE Prime or Subcontractor's Quote)

and will enter into a formal agreement for work with you contingent upon your execution of a contract with Palm Beach County.

If undersigned intends to sub-subcontract any portion of this job to a certified SBE-M/WBE or a non-SBE subcontractor, please list the name of that subcontractor and the amount below.

Price or Percentage N/A N/A  
(Name of Subcontractor)

The Prime affirms that it will monitor the SBE-M/WBE listed to ensure the SBE-M/WBE perform the work with their own work force. The undersigned SBE-M/WBE Prime or SBE-M/WBE subcontractor affirms that it has the resources necessary to perform the work listed without subcontracting to a non-certified SBE or any other certified SBE subcontractors except as noted above.

The undersigned subcontractor understands that the provision of this form to Prime Bidder does not prevent Subcontractor from providing quotations to other bidders.

Print name of  
SBE-M/WBE Company

By: \_\_\_\_\_  
(Signature)

Michael J. Daley  
Print name/title of person executing on behalf  
of SBE-M/WBE

Revised 7/2/2013

Date: 7/14/16

**BOARD OF COUNTY COMMISSIONERS  
PALM BEACH COUNTY, FLORIDA  
FACILITIES DEVELOPMENT AND OPERATIONS DEPARTMENT  
PROCUREMENT & PROJECT IMPLEMENTATION GROUP**

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PROJECT NAME: Morikami Yamato Kan - Cedar Shake Roof Replacement

PROJECT NUMBER: 16347

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**ADDENDUM NUMBER: ONE**

DATE OF ISSUANCE: July 1, 2016

**TO: Prospective Bidders**

This addendum forms a part of the contract documents, modifies the original bid documents and shall be as binding as if contained therein.

This Addendum consists of thirteen (13) pages.

**CHANGE TO PROJECT REQUIREMENTS:**

1. Section 2. **SCOPE OF WORK**, add the following additional scope of work to the end of this section:

"Remove and replace Rotted/Damaged Rough Cedar 2"x4" and 2"x6" Ornamental Wood Members. New Cedar shall be properly cut and fashioned to match existing configurations. Installation shall include new screws, bolts and hardware for reassembling the ornamental wood.

Prior to reassembly the contractor shall prime one (1) coat and paint two (2) coats all cedar wood members with Sherwin Williams Latex Exterior Paint; color shall be flat black and shall be confirmed by Parks. Existing boards being reused shall be properly prepped for new paint. Contractor shall include 100' Lineal feet of 2"x4" and 200' Lineal feet of 2"x6".

**Copper Pitch Pans** - Prep all copper pitch pans prior to painting with new Sherwin Williams Exterior Latex Paint, color shall be flat black and shall be confirmed by Parks. Pitch pans shall be painted with (2) coats to match Ornamental Wood."

**"Morikami Museum – Caretaker Residence Roof Replacement.**

**Shingle Section** - Provide all permits, engineering, labor and materials to remove and dispose of the existing shingle roof system and replace with Lifetime Architectural GAF Dimensional Fiberglass Shingle Roof (Attachment 2) (the color of the shingles shall be Cedar Blend) or PBC approved equivalent.

- a. Place over 30# felt underlayment.
- b. Remove and replace 160 square feet of damaged 5/8" CDX plywood.
- c. Install three (3) new Lomanco® 700 Series slant back roof vents (Attachment 4) on the rear section of the roof placed at the appropriate location to insure proper venting of the attic space. Use pre-manufactured lead flashings for all vent

ADD1-1

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pipes. Ventilation code for vent and opening sizes must be adhered to. Cut openings in the roof deck centered in-between roof trusses for installation (Attachment 5).

**Sheet Metal Flashing and Trim** – All sheet metal flashing and trim shall be in strict accordance with the specifications. All work must meet the local building codes and comply with the recommendations of SMACNA's 'Architectural Sheet Metal Manual' and the NRCA's 'Roofing and Waterproofing Manual'.

- a. Drip edge metal shall be 3"x2", .040 drip edge, color brown.
- b. Valley metal shall be 16" wide, .032 aluminum.
- c. Transition metal at all gables shall be minimum 4"x5", 0.040 aluminum L-bend.
- d. Pre-manufactured lead flashings for all vent pipes.

**Roof Accessories** – Furnish and install all roof accessories in accordance with these specifications:

- a. Roofing nails shall be galvanized or non-ferrous type and size as required for suited application.
- b. Furnish lumber manufactured to comply with PS 20, 'American Softwood Lumber Standard' and with applicable grading rules of inspection agencies certified by the American Lumber Standards Committee's (ASLC) Board of Review.
- c. Use pressure treated lumber in the sizes as required for proper installation of roofing system and accessories.
- d. Fasteners as approved for installation of the base sheet, in order to comply with wind uplift requirements.

**Siding Replacement** - Remove and Replace existing T-111 wood siding at 3 Gable End locations. Install New Hardie Panel (Attachment 3) Z10, 5/16" x 48" x 96". Fiber Cement Sierra 8 Panel Vertical Siding according to Manufactures Installation Requirements. Install New Hardiewrap Weather Barrier or equal according to Manufactures' Installation requirements in these areas prior to siding installation. Prime one (1) coat and paint two (2) coats Sherwin Williams Latex Exterior paint to match existing trim color.

**Fascia Replacement** - Remove and replace damaged fascia to the nearest truss end new fascia shall be 1" x 4" PT. Prime & Paint 2 coats Sherwin Williams Latex Exterior paint to match existing trim color.

**Warranty** – Contractor shall warranty the installation for a period of two (2) years from the date of final acceptance of the work. Furnish a NDL twenty (20) year warranty from the manufacturer of the roofing system from deck to cap sheet."

IT IS REQUIRED THAT THIS ADDENDUM NO. ONE BE SIGNED IN THE ACKNOWLEDGMENT OF RECEIPT BELOW, AND ATTACHED TO THE BID FORMS AND BECOMES PART OF BID FORMS AND CONTRACT DOCUMENTS.

ACKNOWLEDGMENT OF RECEIPT: \_\_\_\_\_



Michael J. Daley - President

END OF ADDENDUM

ADD1-2

**PROJECT REQUIREMENTS**  
**Annual Roofing Contract**

Contact: William Munker, Capital Improvements Division

Phone: (561) 233-0265

Project Title: Morikami Yamato Kan - Cedar Shake Roof Replacement

Project: #16347

Project Location: 4000 Morikami Park Road, Delray Beach, FL 33446

**1. GENERAL**

- a. The work covered by this Request for Quote consists of, but is not limited to, the furnishing all labor, equipment, devices, tools, materials, transportation, services supervision, drawings, permitting and all miscellaneous requirements to perform all operations necessary to accomplish the work set forth below and shall be considered part of the Scope of Work.
- b. Please reference the Annual Roofing Contract for additional requirements.
- c. Work to be completed during the hours of 8:00 am to 5:00 pm, Monday through Friday.
- d. Work to be completed within sixty (60) days of permit issuance. Permit application to be submitted by Contractor within five (5) days of Notice to Proceed.
- e. Liquidated damages will accrue in the amount of \$96 per day.
- f. Contractor is responsible for obtaining all measurements during the site inspection.

**2. SCOPE OF WORK**

Completely remove existing Cedar Shake Roof and all associated components down to the wood deck. Provide and install a new complete Certi-Label Certi-Guard Class B Fire Retardant Cedar Shake Roof (Attachment 1) or PBC approved equal. All alternate Cedar Shake Materials Manufacturers shall be a member of the Cedar Shake and Shingle Bureau (CSSB).

The new roof system shall include the replacement of up to 4 sheets of 5/8" CDX sheathing or to match existing. All roof sheathing nailing shall be brought up to meet new Code, additional nailing shall consist of the required ring shank nails.

After the removal of the existing roofing, install a full dry in consisting of 1 layer of 30# felt nailed and tin tagged to meet current code.

Install New 24 Gauge 16 oz Copper Flashings thru out including, 3" x 2" Drip Edge, 24" W Formed Valley, Pitch Pans, Seamless Half Round Gutter and

preformed pitched Vent Pipe Flashings with clamp collar. All pipe flanges shall be silver soldered and be properly sized to the vent pipe; all flanges shall be hemmed on three sides to shed water.

Install New Shakes according to the Cedar Shake and Shingle Bureau (CSSB) "Design and Application Manual for New Roof Construction" "solidly sheathed decking" (Attachment 1) and the Florida Building Code. Starter course shall be minimum 2 layers and shall extend beyond the eave a minimum of 1½ inches, shakes shall be 24 inch Western Red Cedar Premium Grade Hand-split Jumbos with an exposure of 7½ inches. Fasteners shall be minimum Stainless Steel 2½ inch, 8d 316 Type Hand-Drive or Pneumatic Ring Shank Nails minimum, 2 per shake approximately 1½ inches above the exposure line. Nails need to be driven through the plywood deck and existing wood purlins by at least ¾ of an inch. In between each course of shakes, install an 18 inch wide interlay of 30# felt. Spacing between adjacent shakes should be minimum ⅜ inch and maximum of ⅝ inch.

All Certi - Ridge Hips and Ridges shall be of the alternate overlap type applied at the same exposure as the field with nails long enough to penetrate into the sheathing at least ¾ inch. Install a strip of 30# felt over the hip and ridge under the ridge or hip caps. Adjust exposure accordingly

The decorative wood frame on the roof will need to be carefully removed and then reset to achieve the roof replacement.

Contractor shall tarp all flat surfaces around the structure at all times when work is being performed.

### **3. MATERIALS**

- a. All material shall meet or exceed Florida Building Code and product submittals shall be reviewed and approved by the Project Manager prior to ordering.
- b. All materials shall be delivered to the work site in their original unopened packaging.
- c. All materials shall be protected from exposure during storage, or staging for the project.
- d. Damaged or deteriorated materials shall not be used.

### **4. SUBMITTALS**

All submittals shall be sent to the Project Manager for approval. This includes, but is not limited to, products to be used, methods of installation and requests for information and/or clarification. All submittals must be made by the Contractor and must include all details necessary for the Project Manager and Palm Beach



County to make any necessary determinations. A transmittal form must be included which clearly requests data or information and deviations from the contract requirements for which approval is being requested. Failure to provide sufficient information will result in the rejection of the submittal. Where the specifications do not specify a brand name product or where a substitution of a product is not specifically prohibited, the Contractor shall submit their selected products for approval by the Project Manager. Such submittals shall include as much detail, and in a format, as required by the Project Manager, so as to allow the Project Manager to evaluate the proposed substitution.

**5. TEMPORARY PROTECTION**

The Contractor shall protect all workers, staff and the general public, from injury.

The Contractor shall coordinate and schedule all work with the Project Manager

**6. PROJECT CONDITIONS**

Contractor is to coordinate all space and security requirements with the Project Manager. Any damage caused by Contractor (including landscaping) shall be the responsibility of the Contractor to repair and return to its original state.

The Facilities will remain open to the Public for the duration of the work. The Contractor will be required to maintain free and safe egress to the public, the County, and to their staff at all times.

All staging areas will be limited and must be coordinated thru the Project Manager and the Museum staff, prior to any work or material deliveries.

Contractor shall provide Port O' Let Facilities for the duration of the project for its workers. The location or placement must be approved in advance.

**7. PREPARATION**

A pre-construction meeting with the owner's representative, contractor, and user agency one week minimum before starting the work.

**8. EXAMINATION**

Report to the Project Manager, in writing, any imperfections, unacceptable conditions and/or corrections required to be made before commencing work. If approved, this shall result in a change order.

**9. INSTALLATION**

All materials shall be installed in strict accordance with Manufacturer's written instructions and recommendations. All work shall be done in conformance with applicable Federal, State and Local codes, and established standards.

New roof shall be installed in strict accordance Cedar Shake and Shingle Bureau (CSSB) Design and Application Manual for New Roof Construction "Solid Sheathing".

**10. WARRANTY**

Provide Manufactures Lifetime Limited Warranty for all Shake Products installed and a 5 Year Installation Warranty for all Roofing Work.

**11. CLEAN UP**

Remove all waste materials, tools and equipment from job site daily. Thoroughly clean the entire job area prior to requesting final completion.

**12. SECURITY**

**All bidders must have "Critical Facilities" badged employees prior to submitting bids.**

This project is subject to: ☒ Critical Facilities Background Check  
☐ CJI Facilities Background Check  
☐ No Background Check

### Certi-label Shakes

A solid deck is recommended in seismic activity, hurricane and tornado regions and in areas where wind-driven snow is encountered. Roofing felt system interlay between the shake courses is required whether the sheathing is spaced or solid. The felt interlay acts as a baffle that prevents wind-driven snow or other foreign material from entering the attic cavity during extreme weather conditions. The felt interlays also increase the roof's insulation value. The felt interlay system forces water to the surface.

If spaced sheathing is used in shake application, the sheathing is usually 1 x 6 boards spaced on centers equal to the weather exposure, (Table 4, Page 20) at which the shakes are to be laid - *but never more than 7 1/2" for 18" shakes and 10" for 24" shakes on roof installations.* When 1 x 4 spaced sheathing is installed at 10" on center, additional 1 x 4 boards must be installed (i.e. maximum allowable spacing is approximately 3 1/2" measured from edge to edge between the sheathing boards). Please note that the only solid sheet sheathing tested with Certi-label™ shakes & shingles is plywood. Check with your local building official for plywood thickness/dimensions.

Special care should be taken when installing the felt interlays over spaced sheathing to ensure that an effective baffle is formed (Figure 1). The felt should be applied over the top portion of the shakes and extend on to the spaced sheathing so that the bottom edge of the felt is positioned at a distance above the butt equal to twice the weather exposure.

### Certi-label Shake Application

Shakes, like shingles, are normally applied in straight, single courses. The following application details (Figure 4) must be observed.

1. The starter course may be one or two layers of cedar shingles or shakes overlaid with the desired shake. A 15" shake is made expressly for starter and finish courses.
2. Butts of first course shakes should project 1 1/2" beyond the fascia and approximately 1" over the gable or rake end.
3. The CSSB recommends using an 18" wide strip of No. 30 ASTM D226 Type II or No. 30 ASTM D4869 Type IV roofing felt laid over the top portion of shakes and extending on to the sheathing. (Check with your local building official for exact specifications in

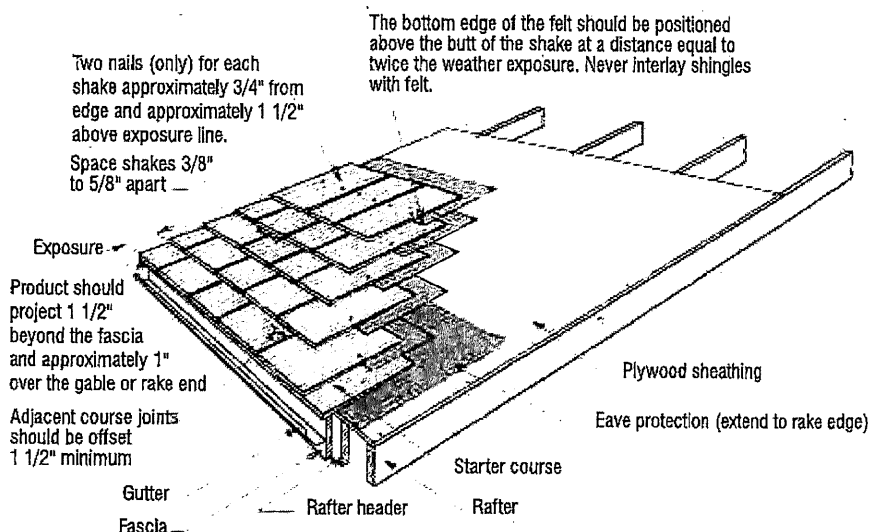


Figure 4: Certi-label Shake Application

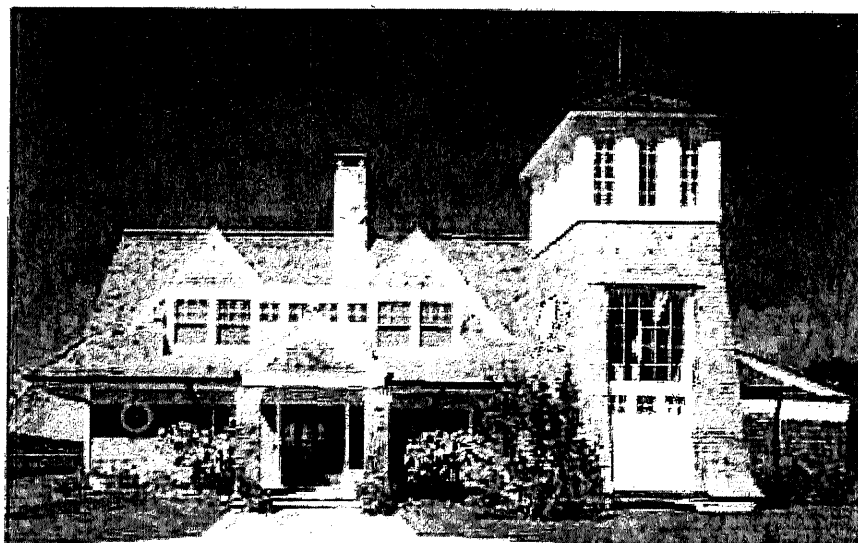
your area). The bottom edge of the felt should be positioned above the butt of the shake at a distance equal to twice the weather exposure. For example, 24" shakes, felt extends up 14" onto the sheathing forcing water to the surface.

4. Spacing between adjacent shakes should be a minimum of 3/8" and a maximum of 5/8".
5. Shakes shall be laid with a side lap of not less than 1 1/2" between joints in adjacent courses.

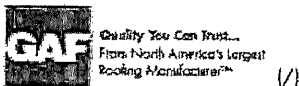
6. Straight-split shakes should be laid with the free-end (the end from which the shake has been split and which is smoother) towards the ridge.

**Notes:** See page 19 for high humidity areas.

Currently the only acceptable solid sheathing product tested for use with Certi-label shakes is plywood.



Architect: Shope Reno Wharton, Photo: Robert Benson



English  
(http://www.gaf.com)  
Spanish  
(http://es.gaf.com)

Roofing (/) | Residential Products (/Roofing/Residential/Products) | Shingles (/Roofing/Residential/Products/Shingles) |  
Timberline (/Roofing/Residential/Products/Shingles/Timberline) |  
American Harvest (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest)



Shingle Features (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Features) | Shingle Colors (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Colors) | Photo Gallery (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Photo\_Gallery) |  
Instructions, Warranties & Codes (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Instructions\_Warranties\_Codes) | Product Reviews (/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Reviews)

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Timberline® American Harvest® Shingles with Advanced Protection® Shingle Technology are architecturally stylish, yet practically priced, resulting in a high-performance shingle that provides excellent protection for your home.

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( Color Availability Varies By Region )

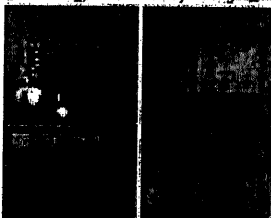


[\(/Roofing/Residential/Shingle\\_Style\\_Guide\)](#)



Browns & Reds >>

[\(/Roofing/Residential/Shingle\\_Style\\_Guide/Brown\\_Red\)](#)



Grays & Blacks >>

[\(/Roofing/Residential/Shingle\\_Style\\_Guide/Gray\\_Black\)](#)



Blues & Greens >>

[\(/Roofing/Residential/Shingle\\_Style\\_Guide/Blue\\_Green\)](#)



[\(/Roofing/Residential/Shingle\\_Style\\_Guide/Beige\\_Gold\)](#)

Get Automatic Lifetime Protection On Your Timberline® American Harvest® Shingles and Your Entire GAF Roofing System!



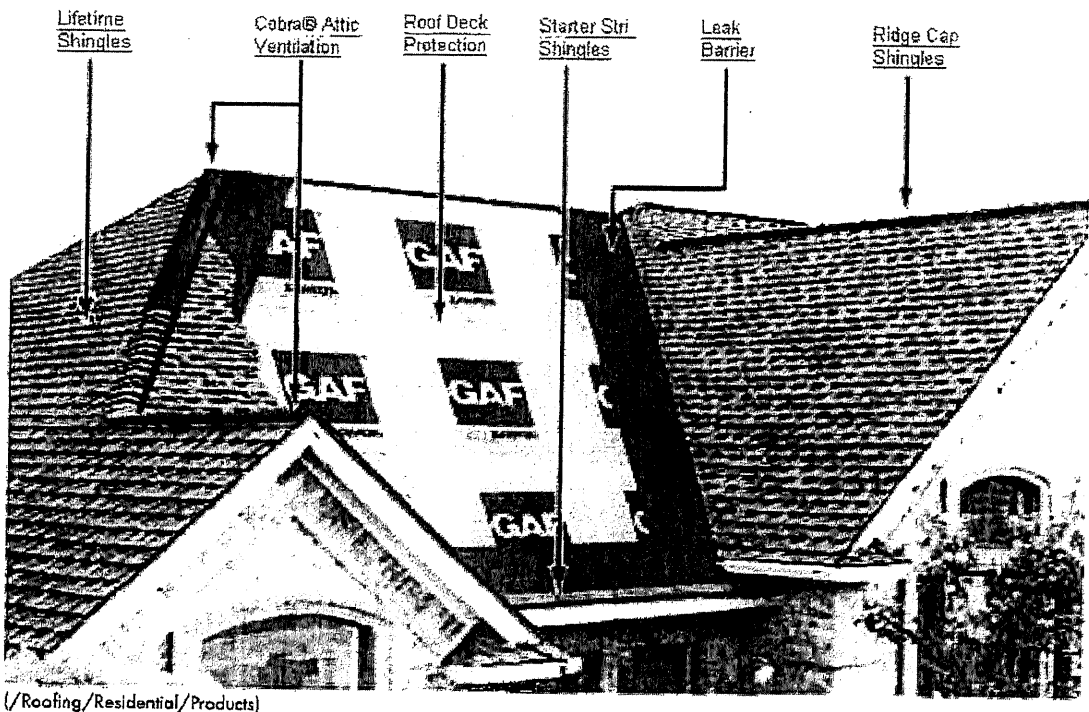
[What Is The Lifetime Roofing System? \(/Roofing/Residential/Products\)](#)

YOU GET:

- A Lifetime ltd. warranty... on your shingles and all qualifying GAF accessories! [\(See Details\)](#)
- Non-prorated coverage for the first 10 years [\(See Details\)](#)

ADD1-4





(/Roofing/Residential/Products)

Shingle Features  
(/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Shingle\_Features)

Shingle Colors  
(/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Shingle\_Colors)

Photo Gallery  
(/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Photo\_Gallery)

Instructions, Warranties & Codes  
(/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Instructions\_Warranties\_Codes)

Product Reviews  
(/Roofing/Residential/Products/Shingles/Timberline/American\_Harvest/Product\_Reviews)

GAF Residential Roofing  
Shingles & Accessories

- Roofing Shingles  
(/Roofing/Residential/Products/Shingles)
- Slate Roofing - TruSlate® (http://www.truslate.com/)
- Designer Roofing Shingles  
(/Roofing/Residential/Products/Shingles/Designer)
- Timberline® Architectural Roofing Shingles  
(/Roofing/Residential/Products/Shingles/Timberline)
- 3-Tab Shingles  
(/Roofing/Residential/Products/Shingles/3\_Tab)
- Attic Vents & Roof Ventilation  
(/Roofing/Residential/Products/Roof\_Vents)
- GAF Lifetime Roofing System  
(/Roofing/Residential/Products)
- Roof Warranty Information  
(/Roofing/Residential/Warranty\_Information)
- Register Your Warranty  
(http://apps.gaf.com/WarrantyRegistration)
- For Residential Architects & Specifiers  
(/Architects\_Specifiers)
- For Residential Roofing Contractors  
(/Building\_Professionals)
- GAF Document & Spec. Library (/Document\_Library)
- GAF Business Building Club  
(http://www.gafbusinessbuildingclub.com)
- GAF ContentBuilder (/ContentBuilder/New)

Plan Your Residential  
Roofing Project

- Do I Need A New Roof?  
(/Roofing/Residential/Key\_Danger\_Signals)
- GAF Roof Wizard  
(/Roofing/Residential/Roofing\_Wizard)
- Virtual Home Remodeler  
(/Roofing/Residential/Virtual\_Home\_Remodeler)
- GAF & Designing Spaces  
Roofing Guide (Video) (/Video\_Library/0\_q1s6mqb)
- Shingle Style Guide  
(/Roofing/Residential/Shingle\_Style\_Guide)
- Document, Specs., Tech. Details (/Document\_Library)
- Green Roofing  
(/Roofing/Commercial/Green\_Roof\_Central)
- Glossary of Roofing Terms  
(/Roofing/Residential/Glossary\_Of\_Roofing\_Terms)
- Where to Buy GAF Products  
(/Roofing/Residential/Distributors\_Retailers\_Dealers)
- Roofing Contractors (/Roofing/Contractors)
- GAF Video Library (/Video\_Library)
- DIY Center | Do It Yourself (/Roofing/Residential/DIY)
- Storm Response  
(/Building\_Professionals/Homeowner\_Storm\_Response)

GAF Commercial Roofing  
Products & Accessories

- Commercial & Flat Roofing Systems (/Roofing/Commercial/Products\_Systems)
- Asphaltic Accessories (/Roofing/Commercial/Products\_Systems)
- Built-Up Roofing (/Roofing/Commercial/Products\_Systems)
- Modified Bitumen Roofing  
Products & Systems (/Roofing/Commercial/Products\_Systems)
- Single-Ply Roofing Systems (/Roofing/Commercial/Products\_Systems)
- TPO Roofing (/Roofing/Commercial/Products\_Systems)
- Liquid-Applied Coatings & Membranes (/Roofing/Commercial/Products\_Systems)
- Specialty Roofing Products (/Roofing/Commercial/Products\_Systems)
- Roof Insulation & Fastening (/Roofing/Commercial/Products\_Systems)
- Adhesives, Primers & Sealants (/Roofing/Commercial/Products\_Systems)
- Flat Roofing Products (/Roofing/Commercial/Products\_Systems)
- Flat Roof (/Roofing/Commercial/Products\_Systems)
- Commercial Property Owners & Managers (/Roofing/Commercial/Products\_Systems)
- Commercial Architects & Specifiers (/Architects\_Specifiers)
- For Commercial Roofing Contractors (/Building\_Professionals)
- Guide to Low Slope Systems (/Roofing/Commercial/Products\_Systems)
- Green Roof Central (/Roofing/Commercial/Products\_Systems)
- How Maintenance Saves  
Valuable Dollars  
(/Commercial\_Roofing\_Systems/Roofing\_Solutions)
- GAF Video Library (/Video\_Library)
- GAF Document & Spec. Library (/Document\_Library)
- Where to Buy GAF Products (/Roofing/Commercial/Products\_Systems)
- Roofing Contractors (/Roofing/Contractors)
- Find Your Commercial Territory Manager (/Roofing/Commercial/Products\_Systems)

ADD1-5

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2fResidential%2fProducts%2fShingles%2fTimberline%2fAmerican\_Harvest%  
23cb) | New? Get started here >> (/Content\_Builder/New)

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### SMOOTH • CEDARMILL® • SELECT SIERRA 8 • STUCCO

**IMPORTANT: FAILURE TO INSTALL AND FINISH THIS PRODUCT IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND JAMES HARDIE WRITTEN APPLICATION INSTRUCTIONS MAY LEAD TO PERSONAL INJURY, AFFECT SYSTEM PERFORMANCE, VIOLATE LOCAL BUILDING CODES, AND VOID THE PRODUCT ONLY WARRANTY. BEFORE INSTALLATION, CONFIRM THAT YOU ARE USING THE CORRECT HARDIEZONE INSTRUCTIONS. TO DETERMINE WHICH HARDIEZONE APPLIES TO YOUR LOCATION, VISIT [WWW.HARDIEZONE.COM](http://WWW.HARDIEZONE.COM) OR CALL 1-866-942-7343 (866 9HARDIE)**

#### STORAGE & HANDLING:

Store flat and keep dry and covered prior to installation. Installing siding wet or saturated may result in shrinkage at butt joints. Carry planks on edge. Protect edges and corners from breakage. James Hardie is not responsible for damage caused by improper storage and handling of the product.



#### CUTTING INSTRUCTIONS

##### OUTDOORS

1. Position cutting station so that wind will blow dust away from user and others in working area.
2. Use one of the following methods:
  - a. Best:
    - i. Score and snap
    - ii. Shears (manual, electric or pneumatic)
  - b. Better:
    - i. Dust reducing circular saw equipped with a HardieBlade® saw blade and HEPA vacuum extraction
  - c. Good:
    - i. Dust reducing circular saw with a HardieBlade saw blade (only use for low to moderate cutting)

##### INDOORS

1. Cut only using score and snap, or shears (manual, electric or pneumatic).
2. Position cutting station in well-ventilated area

- NEVER use a power saw indoors
- NEVER use a circular saw blade that does not carry the HardieBlade saw blade trademark
- NEVER dry sweep - Use wet suppression or HEPA Vacuum

**Important Note:** For maximum protection (lowest respirable dust production), James Hardie recommends always using "Best"-level cutting methods where feasible.

NIOSH-approved respirators can be used in conjunction with above cutting practices to further reduce dust exposures. Additional exposure information is available at [www.jameshardie.com](http://www.jameshardie.com) to help you determine the most appropriate cutting method for your job requirements. If concern still exists about exposure levels or you do not comply with the above practices, you should always consult a qualified industrial hygienist or contact James Hardie for further information.

80029105

#### GENERAL REQUIREMENTS:

- These instructions to be used for single family installations only. For Commercial / Multi-Family installation requirements go to [www.JamesHardieCommercial.com](http://www.JamesHardieCommercial.com)
- HardiePanel® vertical siding can be installed over braced wood or steel studs spaced a maximum of 24" o.c. See general fastening requirements. Irregularities in framing and sheathing can mirror through the finished application. James Hardie recommends installing HardiePanel on a capillary break (rainscreen/furring) as a best practice.
- Information on installing James Hardie products over foam can be located in JH Tech Bulletin 19 at [www.jameshardie.com](http://www.jameshardie.com)
- A water-resistive barrier is required in accordance with local building code requirements. The water-resistive barrier must be appropriately installed with penetration and junction flashing in accordance with local building code requirements. James Hardie will assume no responsibility for water infiltration. James Hardie does manufacture HardieWrap™ Weather Barrier, a non-woven non-perforated housewrap®, which complies with building code requirements.
- When installing James Hardie products all clearance details in figs. 3, 5, 6, 7, 8, 9, 10 & 11 must be followed.
- Adjacent finished grade must slope away from the building in accordance with local building codes - typically a minimum of 6" in the first 10'.
- Do not install James Hardie products, such that they may remain in contact with standing water.
- HardiePanel vertical siding may be installed on vertical wall applications only.
- DO NOT use HardiePanel vertical siding in Fascia or Trim applications.
- Some application are not suitable for ColorPlus. Refer to ColorPlus section page 3.
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- For larger projects, including commercial and multi-family projects, where the span of the wall is significant in length, the designer and/or architect should take into consideration the coefficient of thermal expansion and moisture movement of the product in their design. These values can be found in the Technical Bulletin #8 "Expansion Characteristics" at [www.JamesHardie.com](http://www.JamesHardie.com).

#### INSTALLATION:

##### Fastener Requirements

- Position fasteners 3/8" from panel edges and no closer than 2" away from corners. Do not nail into corners. HardiePanel Vertical Siding installation
- Framing must be provided at horizontal and vertical edges for nailing.
- HardiePanel vertical siding must be joined on stud.
- Double stud may be required to maintain minimum edge nailing distances.

##### Joint Treatment

- Vertical Joints - Install panels in moderate contact (fig. 1), alternatively joints may also be covered with battens, PVC or metal jointers or caulked (Not applicable to ColorPlus® Finish) (fig. 2).
- Horizontal Joints - Provide Z-flashing at all horizontal joints (fig. 3).

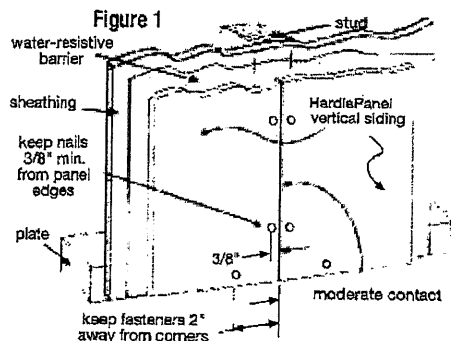


Figure 1

(Not applicable to ColorPlus® Finish)

\*Apply caulk in accordance with caulk manufacturer's written application instructions.

\*For additional information on HardieWrap™ Weather Barrier, consult James Hardie at 1-866-4Hardie or [www.hardiewrap.com](http://www.hardiewrap.com)

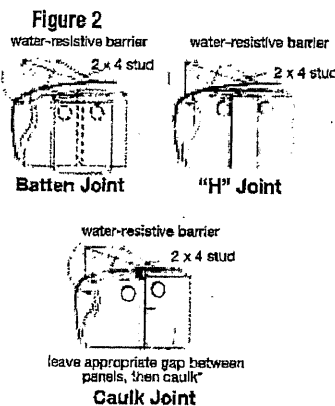


Figure 2

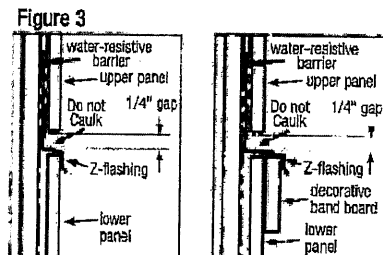


Figure 3

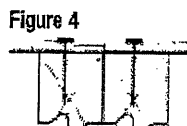


Figure 4

Recommendation: When installing Sierra 8, provide a double stud at panel joints to avoid nailing through grooves.

#### WARNING: AVOID BREATHING SILICA DUST

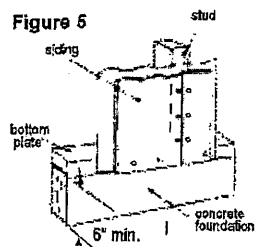
James Hardie® products contain respirable crystalline silica, which is known to the State of California to cause cancer, and is considered by IARC and NIOSH to be a cause of cancer from some occupational sources. Breathing excessive amounts of respirable silica dust can also cause a disabling and potentially fatal lung disease called silicosis, and has been linked with other diseases. Some studies suggest smoking may increase these risks. During installation or handling: (1) work in outdoor areas with ample ventilation; (2) use fiber cement shears for cutting or, where not feasible, use a HardieBlade® saw blade and dust-reducing circular saw attached to a HEPA vacuum; (3) warn others in the immediate area; (4) wear a properly-fitted, NIOSH-approved dust mask or respirator (e.g. N-95) in accordance with applicable government regulations and manufacturer instructions to further limit respirable silica exposures. During clean-up, use HEPA vacuums or wet cleanup methods - never dry sweep. For further information, refer to our installation instructions and Material Safety Data Sheet available at [www.jameshardie.com](http://www.jameshardie.com) or by calling 1-800-9HARDIE (1-800-942-7343). FAILURE TO ADHERE TO OUR WARNINGS, MSDS, AND INSTALLATION INSTRUCTIONS MAY LEAD TO SERIOUS PERSONAL INJURY OR DEATH.

80029105

## CLEARANCES

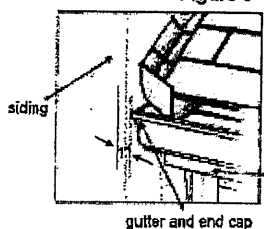
Install siding and trim products in compliance with local building code requirements for clearance between the bottom edge of the siding and the adjacent finished grade.

**Figure 5**



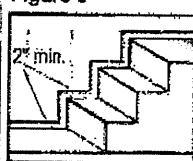
Maintain a minimum 1/4" gap between gutter end caps and siding & trim.

**Figure 9**



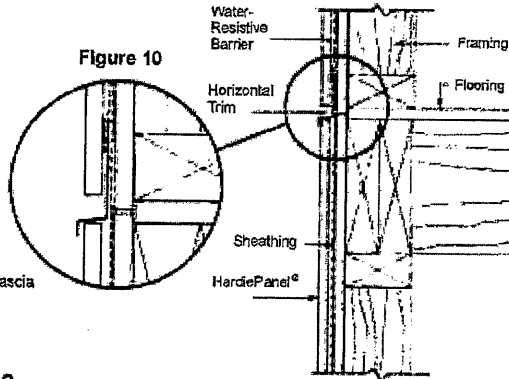
Maintain a minimum 2" clearance between James Hardie® products and paths, steps and driveways.

**Figure 6**



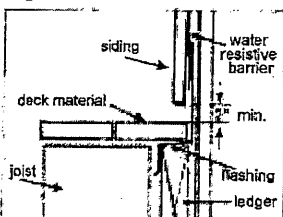
Do not bridge floors with HardiePanel® siding. Horizontal joints should always be created between floors (fig. 10).

**Figure 10**



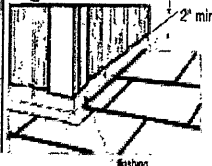
Maintain a minimum 2" clearance between James Hardie products and decking material.

**Figure 7**



At the juncture of the roof and vertical surfaces, flashing and counterflashing shall be installed per the roofing manufacturer's instructions. Provide a minimum 2" clearance between the roofing and the bottom edge of the siding and trim.

**Figure 8**



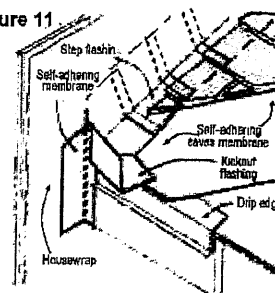
Maintain a 1/4" clearance between the bottom of James Hardie products and horizontal flashing. Do not caulk gap. Refer to fig. 3 on page 1.

## KICKOUT FLASHING

Because of the volume of water that can pour down a sloped roof, one of the most critical flashing details occurs where a roof intersects a sidewall. The roof must be flashed with step flashing. Where the roof terminates, install a kickout to deflect water away from the siding. It is best to install a self-adhering membrane on the wall before the subfascia and trim boards are nailed in place, and then come back to install the kickout.

**Figure 11, Kickout Flashing** To prevent water from dumping behind the siding and the end of the roof intersection, install a "kickout" as required by IRC code R905.2.8.3: "...flashing shall be a min. of 4" high and 4" wide." James Hardie recommends the kickout be angled between 100° - 110° to maximize water deflection

**Figure 11**



## BLOCKED PENETRATIONS

Penetrations such as hose bibs and holes 1 1/2" or larger such as dryer vents shall have a block of trim around point of penetration.

## GENERAL FASTENING REQUIREMENTS

Fasteners must be corrosion resistant, galvanized, or stainless steel. Electro-galvanized are acceptable but may exhibit premature corrosion. James Hardie recommends the use of quality, hot-dipped galvanized nails. James Hardie is not responsible for the corrosion resistance of fasteners. Stainless steel fasteners are recommended when installing James Hardie products near the ocean, large bodies of water, or in very humid climates.

- Consult applicable product evaluation or listing for correct fastener type and placement to achieve specific design wind loads.
- NOTE: Published wind loads may not be applicable to all areas where Local Building Codes have specific jurisdiction. Consult James Hardie Technical Services if you are unsure of applicable compliance documentation.
- Drive fasteners perpendicular to siding and framing.
- Fastener heads should fit snug against siding (no air space). (fig. A)
- Do not over-drive nail heads or drive nails at an angle.
- If nail is countersunk, fill nail hole and add a nail. (fig. B)
- For wood framing, under driven nails should be hit flush to the plank with a hammer (for steel framing, remove and replace nail).
- NOTE: Whenever a structural member is present, HardiePlank should be fastened with even spacing to the structural member. The tables allowing direct to OSB or plywood should only be used when traditional framing is not available.
- Do not use aluminum fasteners, staples, or clipped head nails.

Snug Flush



**Figure A**



Countersunk, fill & add nail

**Figure B**



do not under drive nails



DO NOT STAPLE

## PNEUMATIC FASTENING

James Hardie products can be hand nailed or fastened with a pneumatic tool. Pneumatic fastening is highly recommended. Set air pressure so that the fastener is driven snug with the surface of the siding. A flush mount attachment on the pneumatic tool is recommended. This will help control the depth the nail is driven. If setting the nail depth proves difficult, choose a setting that under drives the nail. (Drive under driven nails snug with a smooth-faced hammer - Does not apply for installation to steel framing).



## CAULKING

For best results use an Elastomeric Joint Sealant complying with ASTM C920 Grade NS, Class 25 or higher or a Latex Joint Sealant complying with ASTM C834. Caulking/Sealant must be applied in accordance with the caulking/sealant manufacturer's written instructions. **Note: OSI Quad as well as some other caulking manufacturers do not allow tooling.**

DO NOT caulk nail heads when using ColorPlus products, refer to the ColorPlus touch-up section

## CUT EDGE TREATMENT

Caulk, paint or prime all field cut edges. James Hardie touch-up kits are required to touch-up ColorPlus products.

## PAINTING

DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products. James Hardie products must be painted within 180 days for primed product and 90 days for unprimed. 100% acrylic topcoats are recommended. Do not paint when wet. For application rates refer to paint manufacturers specifications. Back-rolling is recommended if the siding is sprayed.

## COLORPLUS® TECHNOLOGY CAULKING, TOUCH-UP & LAMINATE

- Care should be taken when handling and cutting James Hardie® ColorPlus® products. During installation use a wet soft cloth or soft brush to gently wipe off any residue or construction dust left on the product, then rinse with a garden hose.
- Touch up nicks, scrapes and nail heads using the ColorPlus® Technology touch-up applicator. Touch-up should be used sparingly. If large areas require touch-up, replace the damaged area with new HardiePanel® siding with ColorPlus Technology.
- Laminate sheet must be removed immediately after installation of each course.
- Terminate non-factory cut edges into trim where possible, and caulk. Color matched caulks are available from your ColorPlus® product dealer.
- Treat all other non-factory cut edges using the ColorPlus Technology edge coat, available from your ColorPlus product dealer.

**Note:** James Hardie does not warrant the usage of third party touch-up or paints used as touch-up on James Hardie ColorPlus products.

Problems with appearance or performance arising from use of third party touch-up paints or paints used as touch-up that are not James Hardie touch-up, will not be covered under the James Hardie ColorPlus Limited Finish Warranty.

The following outlines the recommended applications for ColorPlus and Primed panels. Not all designs will be suitable for every application:

- Exposed fasteners or battens is the recommended application for ColorPlus panel products
- Do not use touch-up over fastener heads for smooth ColorPlus products - primed panel recommended
- For ColorPlus panel applications that require fasteners in the field, it is acceptable to use touch-up over fasteners for CedarMill and Stucco panel only, but correct touch-up application is important. Some colors may show touch-up when applied over fasteners. Trim is recommended to cover joints when appropriate.

## PAINTING JAMES HARDIE® SIDING AND TRIM PRODUCTS WITH COLORPLUS® TECHNOLOGY

When repainting ColorPlus products, James Hardie recommends the following regarding surface preparation and topcoat application:

- Ensure the surface is clean, dry, and free of any dust, dirt, or mildew
- Repriming is normally not necessary
- 100% acrylic topcoats are recommended
- DO NOT use stain, oil/alkyd base paint, or powder coating on James Hardie® Products.
- Apply finish coat in accordance with paint manufacturers written instructions regarding coverage, application methods, and application temperature

RECOGNITION: In accordance with ICC-ES Evaluation Report ESR-1844, HardiePanel® vertical siding is recognized as a suitable alternate to that specified in: the 2006, 2009, & 2012 International Residential Code for One and Two-Family Dwellings and the 2006, 2009, & 2012 International Building Code. HardiePanel® vertical siding is also recognized for application in the following: City of Los Angeles Research Report No. 24862, State of Florida listing FL#869, Dade County, Florida NOA No. 02-0729.02, U.S. Dept. of HUD Materials Release 1263c, Texas Department of Insurance Product Evaluation EC-23, City of New York MEA 223-93-M, and California DSA PA-019. These documents should also be consulted for additional information concerning the suitability of this product for specific applications.

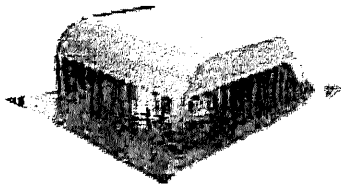
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Additional Installation Information,  
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[www.jameshardie.com](http://www.jameshardie.com)



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**PRODUCT INFORMATION**

Attachment 4

ADD1-10

Description

The Lomanco 770 is the largest of slant back vents. This vent has a three sided louver to allow more air to flow through the vent which in turn will remove more heat and moisture from an attic. This 700 series slant back vents are also approved by [Texas Department of Insurance "Windstorm"](#) ([/Images/Lomanco/Instructions/texasInsurance.pdf](#)) to withstand variable wind speeds. The slant back is designed to prevent roofing discoloration that might occur over the life of your roof. The 770 offers an 9 1/2 inch opening to move air from an attic outside. The Lomanco static vents are designed to be installed on various roof pitches and feature a large flange for easy installation.

Features

- Designed to prevent roof discoloration
- Three sides louvered for greater air flow
- Embossed aluminum finishes for added strength, extended paint life, and blending appearance with shingles
- 770 is larger version of a 750

Specifications

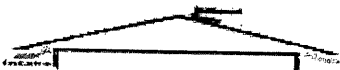
- Overall Size: 16 7/8" x 22 7/8" x 6"
- Opening Size: 9 1/2"
- Net Free Area: 70 in²
- Carton quantity: 6
- Weight: 13.5 lbs.
- Colors: Mill Finish, Black, Weathered Bronze, Brown, White

Helpful Documents

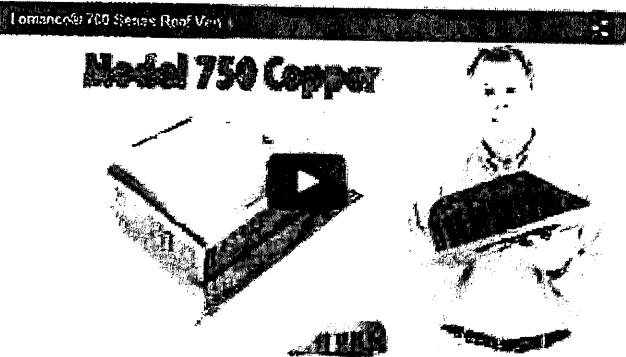
- [Installation Instructions](#) ([https://buymbs.com/Images/Lomanco/Instructions/700\\_Series\\_Installation.pdf](https://buymbs.com/Images/Lomanco/Instructions/700_Series_Installation.pdf))
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