

**PALM BEACH COUNTY
BOARD OF COUNTY COMMISSIONERS
AGENDA ITEM SUMMARY**

Meeting Date: March 10, 2020	<input checked="" type="checkbox"/> Consent	<input type="checkbox"/> Regular
	<input type="checkbox"/> Workshop	<input type="checkbox"/> Public Hearing
<hr/>		
Department:	Engineering & Public Works	
Submitted By:	Engineering & Public Works	
Submitted For:	Streetscape Section	

I. EXECUTIVE BRIEF

Motion and Title: Staff recommends motion to:


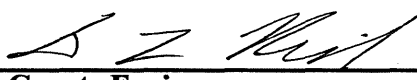
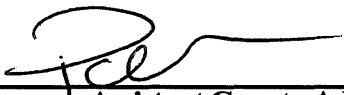
- A) adopt a Resolution to approve District Four Amendment Number Two to the State of Florida Department of Transportation (FDOT) Landscape Memorandum of Agreement (Amended LMOA) to extend the limits for landscaping improvements (Improvements) on State Road 7/US 441 (SR7) from Mile Post 6.076 to Mile Post 8.531 (Project);
- B) approve the Amended LMOA with the FDOT for the Project; and
- C) approve an Agreement with Boca Raton Associates, VII, LLP (Developer) regarding Landscaping and Irrigation within FDOT Right-of-Way on SR7 requiring the Developer to install and maintain Improvements from Mile Post 6.076 to Mile Post 6.624, as stipulated by the Resolution and Amended LMOA.

SUMMARY: Adoption of the Resolution approving Amended LMOA will obligate Palm Beach County (County) to continue maintaining the existing Improvements and grassy areas of the FDOT Landscape Memorandum of Agreement (LMOA) R2017-1666 dated December 1, 2017, and Amendment One to the LMOA R2019-0721 dated June 21, 2019, and to include the additional limits from Mile Post 6.076 to Mile Post 6.624. Approval of the Agreement with the Developer will delegate all of the County's obligations between Mile Post 6.076 to Mile Post 6.624 to the Developer. The Improvements are located along SR7 just south of Atlantic Avenue. District 5 (YBH)

Background and Justification: The Developer is developing a residential community known as Boca Bridges. The Developer was conditioned to install Improvements on SR7 as part of the development approval process. FDOT requires a government agency to obtain a permit for Improvements on FDOT roads. As part of the permit process, FDOT also requires the government agency enter into an LMOA. The County previously entered into an agreement with Boynton Beach Associates XXIV LLP for installation and maintenance of landscaping improvements along SR7 between Mile Post 6.624 and Mile Post 7.525, the Saturnia Isles HOA for installation and maintenance of landscaping improvements along SR7 between Mile Post 7.525 and Mile Post 8.140 and 441 Acquisition, LLC for installation and maintenance of landscaping improvements along SR7 between Mile Post 8.140 and Mile Post 8.531

Attachments:

- 1. Location Sketch
- 2. Resolution (3)
- 3. Amendment Number Two to FDOT LMOA with Exhibits A and B (5)
- 4. Agreement with Boca Raton Associates VII, LLLP (4)

	Recommended by: YBH 	Date 2/13/2020
	County Engineer	
Approved By: 	Assistant County Administrator	Date 2/11/20

II. FISCAL IMPACT ANALYSIS

A. Five Year Summary of Fiscal Impact:

Fiscal Years	2020	2021	2022	2023	2024
Capital Expenditures	\$ -0-	-0-	-0-	-0-	-0-
Operating Costs	-0-	-0-	-0-	-0-	-0-
External Revenues	-0-	-0-	-0-	-0-	-0-
Program Income (County)	-0-	-0-	-0-	-0-	-0-
In-Kind Match (County)	-0-	-0-	-0-	-0-	-0-
NET FISCAL IMPACT	\$ **	-0-	-0-	-0-	-0-
# ADDITIONAL FTE POSITIONS (Cumulative)					

Is Item Included in Current Budget? Yes No
 Does this item include the use of federal funds? Yes No X

Budget Account No:

Fund Dept Unit Object

Recommended Sources of Funds/Summary of Fiscal Impact:

**This item has no fiscal impact. Palm Beach County will not be responsible for any of the construction or maintenance costs associated with this project.

C. Departmental Fiscal Review: Alii Kovalainen

III. REVIEW COMMENTS

A. OFMB Fiscal and/or Contract Dev. and Control Comments:

[Signature] 2/4/2020
 OFMB 10/13

[Signature] 2/17/2020
 Contract Dev. and Control 2/16/20 TW

B. Approved as to Form and Legal Sufficiency:

[Signature] 2/10/2020
 Assistant County Attorney

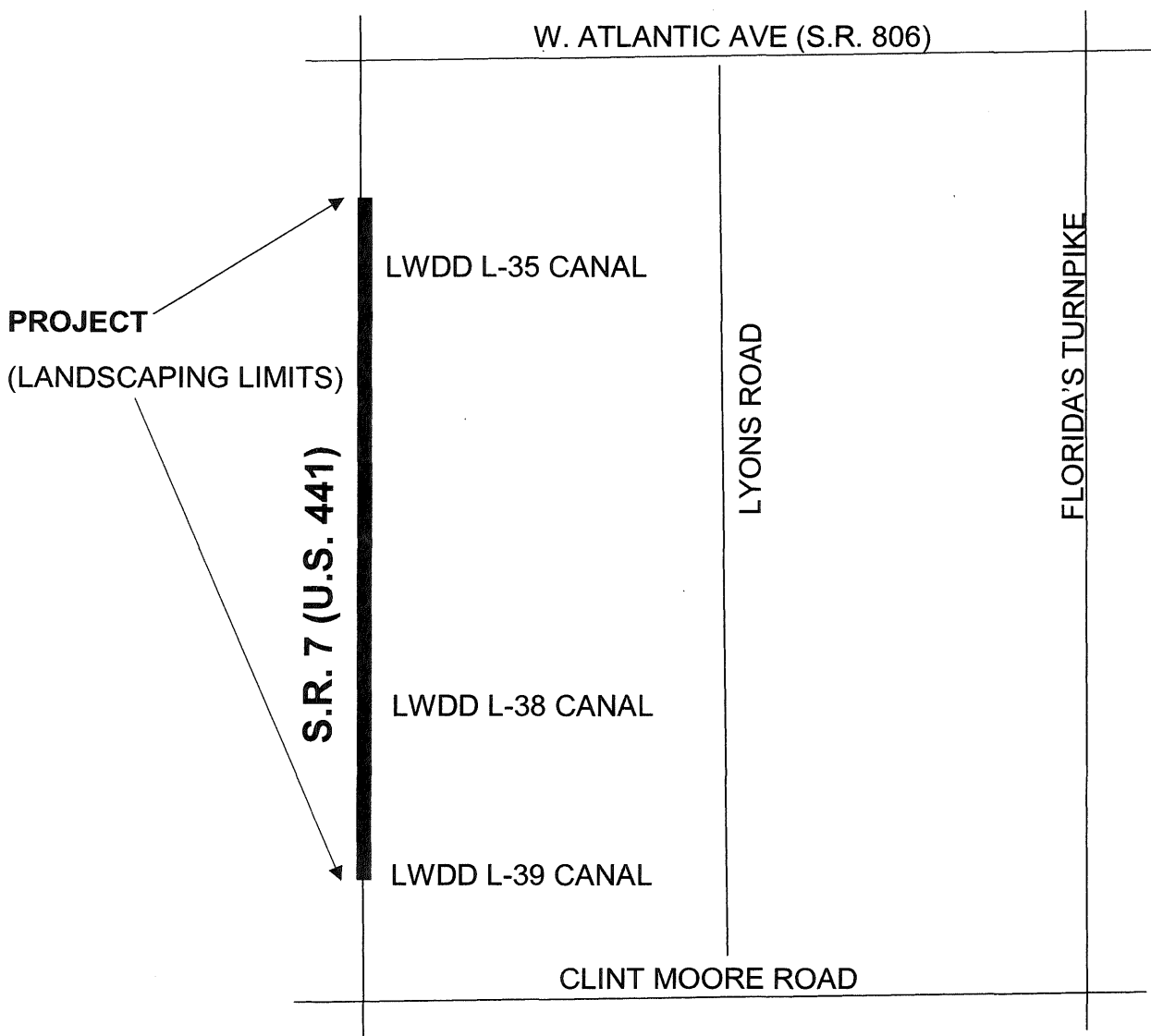
C. Other Department Review:

 Department Director

This summary is not to be used as a basis for payment.

LOCATION MAP

U.S HWY. 441 (S.R.7) MEDIAN LANDSCAPING



NORTH

N.T.S

LOCATION MAP

RESOLUTION NO.

RESOLUTION OF THE BOARD OF COUNTY COMMISSIONERS OF PALM BEACH COUNTY, FLORIDA; AUTHORIZING THE MAYOR TO EXECUTE DISTRICT FOUR AMENDMENT NUMBER TWO TO THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION LANDSCAPE MEMORANDUM OF AGREEMENT TO EXTEND THE LIMITS FOR LANDSCAPING IMPROVEMENTS ON STATE ROAD 7/US 441.

WHEREAS, State Road 7/US 441 (SR7) is under the jurisdiction of the Florida Department of Transportation (FDOT); and

WHEREAS, Palm Beach County (County) through a condition of development desires to add and modify landscaping (Improvements) along SR7 from Mile Post 6.076 to Mile Post 6.624; and

WHEREAS, the County and FDOT entered into a Landscape Maintenance Memorandum of Agreement (LMOA) dated December 1, 2017 (R2017-1666) for SR7 from Mile Post 6.624 to Mile Post 7.525; and

WHEREAS, the County and FDOT entered into an Amendment Number One to the Landscape Maintenance Memorandum of Agreement (LMOA) dated June 21, 2019 (R2019-0721) for SR7 from Mile Post 7.525 to Mile Post 8.531; and

WHEREAS, FDOT requires that the County enter into District Four Amendment Number Two to the State of Florida Department of Transportation Landscape Memorandum of Agreement (Amended LMOA) outlining the responsibilities of each party with respect to the Improvements; and

WHEREAS, the County Engineering Department supports the Improvements; and

WHEREAS, the Board of County Commissioners has determined approval and execution of Amended LMOA to be in the best interest of the citizens and residents of the County.

NOW, THEREFORE, be it resolved by the Board of County Commissioners of Palm Beach County, Florida, that the Mayor is hereby authorized to execute Amended LMOA.

1. The recitations set forth herein above are true, accurate and correct and are incorporated herein.

2. This Resolution will take effect upon its adoption.

The foregoing resolution was offered by Commissioner _____, who moved for its adoption. The motion was seconded by Commissioner _____, and upon being put to a vote, the vote was as follows:

Commissioner Dave Kerner, Mayor
Commissioner Robert S. Weinroth, Vice Mayor
Commissioner Hal R. Valeche
Commissioner Gregg K. Weiss
Commissioner Mary Lou Berger
Commissioner Melissa McKinlay
Commissioner Mack Bernard

The Mayor thereupon declared the Resolution duly passed and adopted this _____ day of _____, 2020.

PALM BEACH COUNTY, FLORIDA
BY ITS BOARD OF COUNTY
COMMISSIONERS

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY

Sharon R. Bock, Clerk and
Comptroller

By: YBH _____ By: _____
Assistant County Attorney

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

**DISTRICT FOUR (4) AMENDMENT NUMBER TWO (2) TO STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION LANDSCAPE
MEMORANDUM OF AGREEMENT**

THIS AMENDMENT Number Two (2) to the Agreement dated December 1, 2017, made and entered into this _____ day of _____ 20____ by and between the State of Florida Department of Transportation hereinafter called the DEPARTMENT and the PALM BEACH COUNTY, a political subdivision of the State of Florida, hereinafter called the AGENCY.

W I T N E S S E T H

WHEREAS, the parties entered into the Landscape Maintenance of Agreement dated, December 1, 2017 (LMOA) as amended on June 21, 2019 for the purpose of maintaining the landscape improvements by the AGENCY on State Road 7 (US 441); and,

WHEREAS, the DEPARTMENT and the AGENCY have agreed to increase the limits of the landscape maintenance and to add additional landscape to be installed on State Road 7 (US 441) and,

WHEREAS, Landscape Improvements will be added in accordance with Permit Number 2018-L-496-012 for Hyder South AKA Boca Bridges; and,

WHEREAS, the AGENCY by Resolution No. _____ dated _____, attached hereto and by this reference made a part hereof, desires to enter into this Amendment and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to paragraph 7 of the LMOA, the DEPARTMENT will allow an adjacent property owner to construct landscape improvements or to modify an improvement located as indicated in **Exhibit "A"**, State Road 7 (US 441) from L-39 Canal (M.P.6.076) to L-38 Canal (M.P.6.624) [Hyder South AKA Boca Bridges], in accordance with the plans attached in **Exhibit "B"**.
2. The AGENCY shall agree to maintain the additional landscape improvements in the LMOA in accordance with the Maintenance Plan, **Exhibit "C"** of the LMOA.

Except as modified by this Amendment, all terms and conditions of the LMOA and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Landscape Improvements Limits and Maintenance Boundaries and Location Map
- Exhibit B - Landscape Improvement Plans

In Witness whereof, the parties hereto have executed with this Amendment effective the ____ day _____ year written and approved.

PALM BEACH COUNTY, A POLITICAL
SUBDIVISION OF THE STATE OF FLORIDA
BOARD OF COUNTY COMMISSIONERS

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: _____
TITLE: MAYOR

By: _____
Transportation Development Director

DATE: _____

Attest: _____ (SEAL)
Executive Secretary

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

BY: YBH
_____ COUNTY ATTORNEY

Legal Review _____ Date _____
Office of the General Counsel _____

Attest:
SHARON R. BOCK

CLERK & COMPTROLLER (SEAL)

APPROVED AS TO TERMS AND
CONDITIONS:

By:  _____

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

EXHIBIT A

LANDSCAPE IMPROVEMENTS PROJECT LIMITS

MAINTENANCE BOUNDARIES LIMITS AND LOCATION MAP

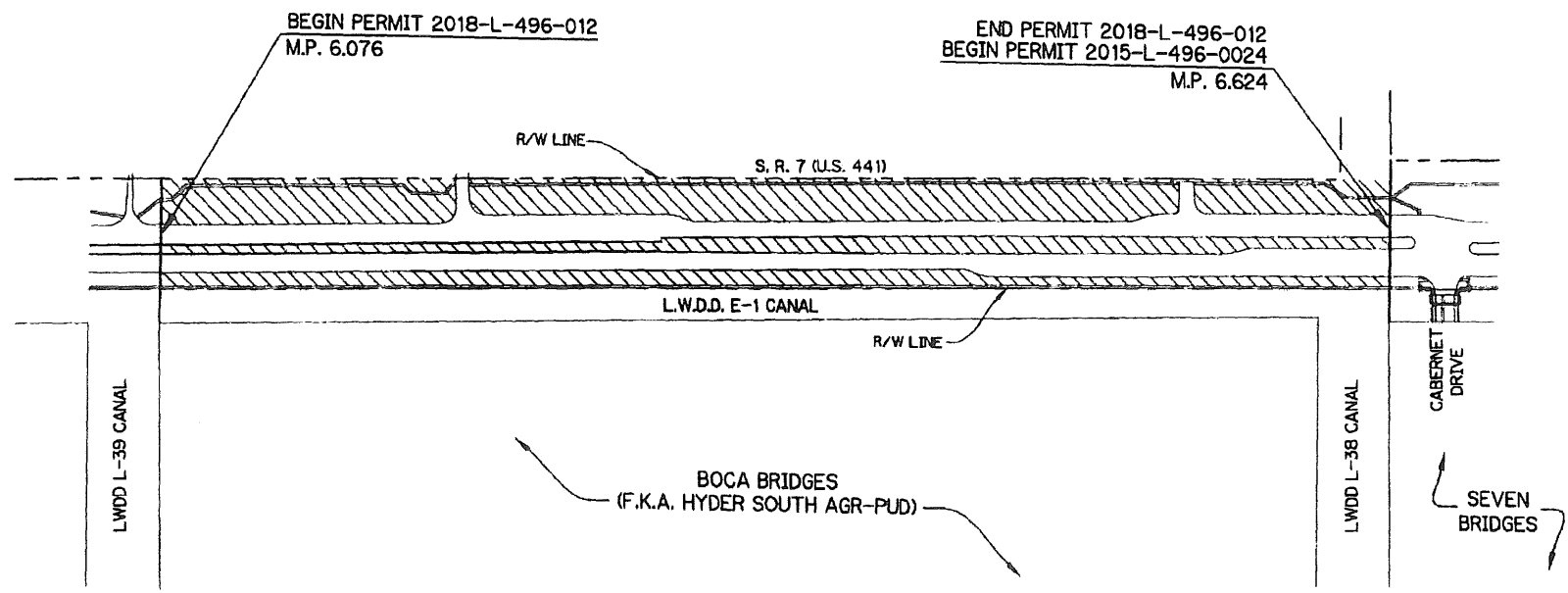
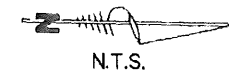
- I. **PERMIT PROJECT LIMITS:**
Permit No. 2018-L-496-012
State Road 7 (US 441) from M.P. 6.076 to M.P. 6.624

- II. **COMPREHENSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS ON STATE ROAD 7:**
State Road 7 (US 441) from M.P. 6.076 to M.P. 8.531

- III. **MAINTENANCE BOUNDARY LIMITS MAP:**

Please See Attached

LANDSCAPE IMPROVEMENTS MAINTENANCE BOUNDARY MAP
PALM BEACH COUNTY
PERMIT NO. 2018-L-496-012



LEGEND:
LIMITS OF MAINTENANCE BY PALM BEACH COUNTY

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

EXHIBIT B

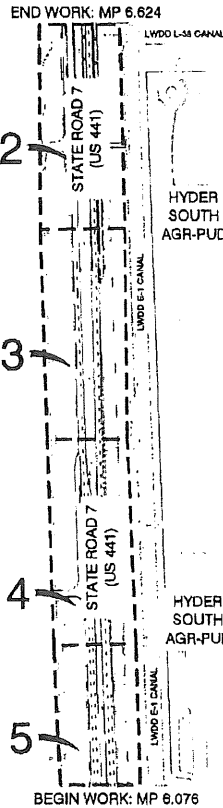
LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by: **Permit No. 2018-L-012**
Kenneth M. DiDonato, P.E.
KD Consulting Engineer
August 14, 2019
Sheets IR 1 – 5

Andrew Overmeyer, RLA
Parker-Yannette design group, inc.
September 23, 2018
Sheets L 1 - 5

Sheet Key



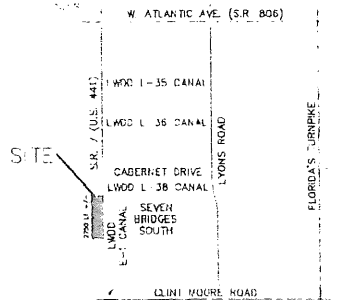
Hyder South AGR-PUD

by Lyons Road V, LLC

Palm Beach County, Florida

U.S. Hwy. 441 (S.R. 7) Median Irrigation Plan

Location Map



GENERAL NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

2. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

3. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

4. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

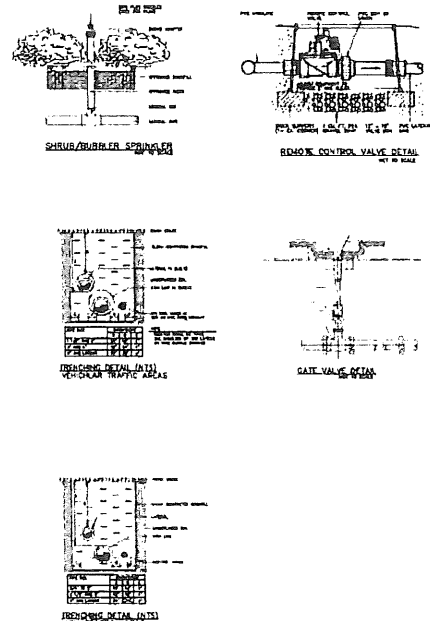
6. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

7. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

8. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

9. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

10. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN (DESIGN) MANUAL AND SHALL conform to the LATEST EDITION OF THE MANUAL AND THE LATEST EDITION OF THE SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



Sheet Index

- IR-1 Cover Sheet - Key Map, Location Map, Sheet Index
- IR-2 441 Median Irrigation Plan
- IR-3 441 Median Irrigation Plan
- IR-4 441 Median Irrigation Plan
- IR-5 441 Median Irrigation Plan

FOOT IRRIGATION NOTES:

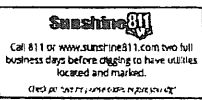
1. The Irrigation system shall use the best quality water available which adequately and safely meets the water needs of the system. When water is gray water, it shall be used whenever possible.
2. 24-hour emergency access to water source.
3. Contractor shall provide FDOT District Operations Manager with a set of "As-Built" irrigation plans.
4. Drilling must be 36" below the roadway. Verify with FDOT Maintenance that drilling/direction is permitted at this time. A road resurfacing cannot be scheduled for 90 days.
5. Permittee's representative & or FDOT inspector may be on site during all boring activities. Upon completion of the boring activities, Permittee shall provide all observations to be in accordance with FDOT Standard Specifications, Section 555 or 556, whichever is applicable.
6. Permittee's contractor that are performing directional drilling and/or back and bore activities shall provide the Permittee (Permittee's) proof of a proper state contractor's license and certificate of liability insurance prior to any commencement of permitted work.
7. Permittee will ensure that all locations have been performed prior to scheduling of any boring activities. This shall include soil logs to verify vertical & horizontal alignment.

Kenneth DiDonato, P.E.
 CONSULTING ENGINEER
 2110 HOLLYWOOD BLVD., HOLLYWOOD, FLORIDA 33020
 (954) 931-1506

PROJECT TITLE: HYDER SOUTH AGR-PUD
 -441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN - COVER SHEET

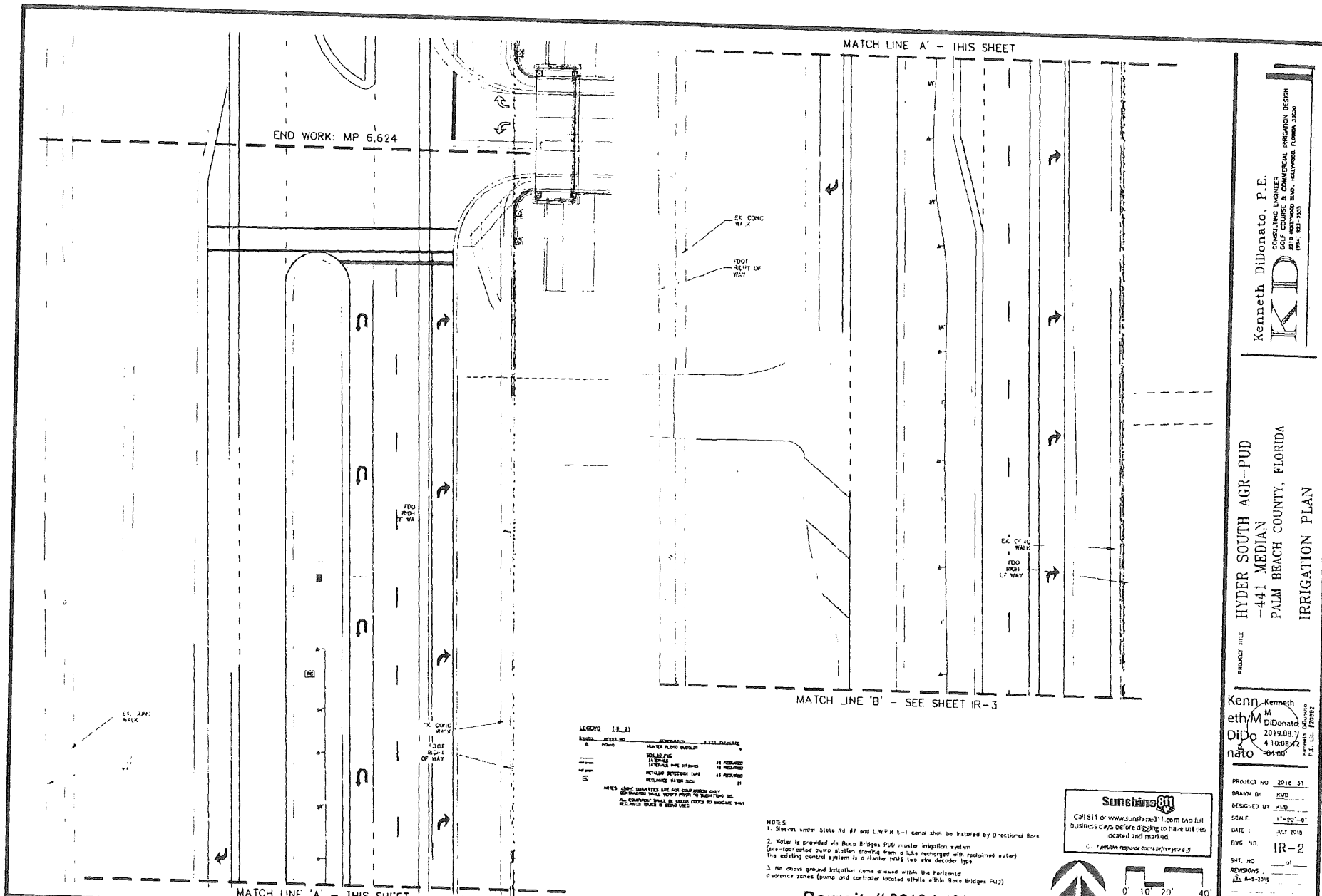
Kenneth DiDonato
 Kenneth DiDonato
 2018.08.14
 4:00PM
 P.E. No. 150287

PROJECT NO. 2018-31
 DRAWN BY: KMD
 DESIGNED BY: JWB
 SCALE: N.T.S.
 DATE: JUL 2018
 DWG. NO. IR-1



Permit # 2018-L496-012

DATE



MATCH LINE 'A' - THIS SHEET

END WORK: MP 5.624

EX. CONC
10' WALK
FOOT
RIGHT OF
WAY

EX. CONC
10' WALK
FOOT
RIGHT OF
WAY

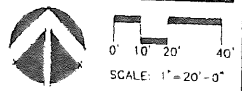
MATCH LINE 'B' - SEE SHEET IR-3

MATCH LINE 'A' - THIS SHEET

LEGEND	DESCRIPTION	REMARKS
---	EXISTING	
---	PROPOSED	
---	CONCRETE	
---	ASPHALT	
---	GRAVEL	
---	GRASS	
---

- NOTES:**
1. Slopes under State No #7 and L.W.P.R. E-1 canal shall be installed by Directional Bore.
 2. Water is provided to Boca Bridges PUD master irrigation system (pre-fabricated pump station created from a lake discharged with treated water). The existing control system is a Hunter HD5 two wire decoder type.
 3. No above ground irrigation items allowed within the Perennial easement zones (pump and controller located outside within Boca Bridges PUD).

Sunshine
 Call 811 or www.sunshine1.com two full business days before digging to have utilities located and marked.
 * positive response does not guarantee.



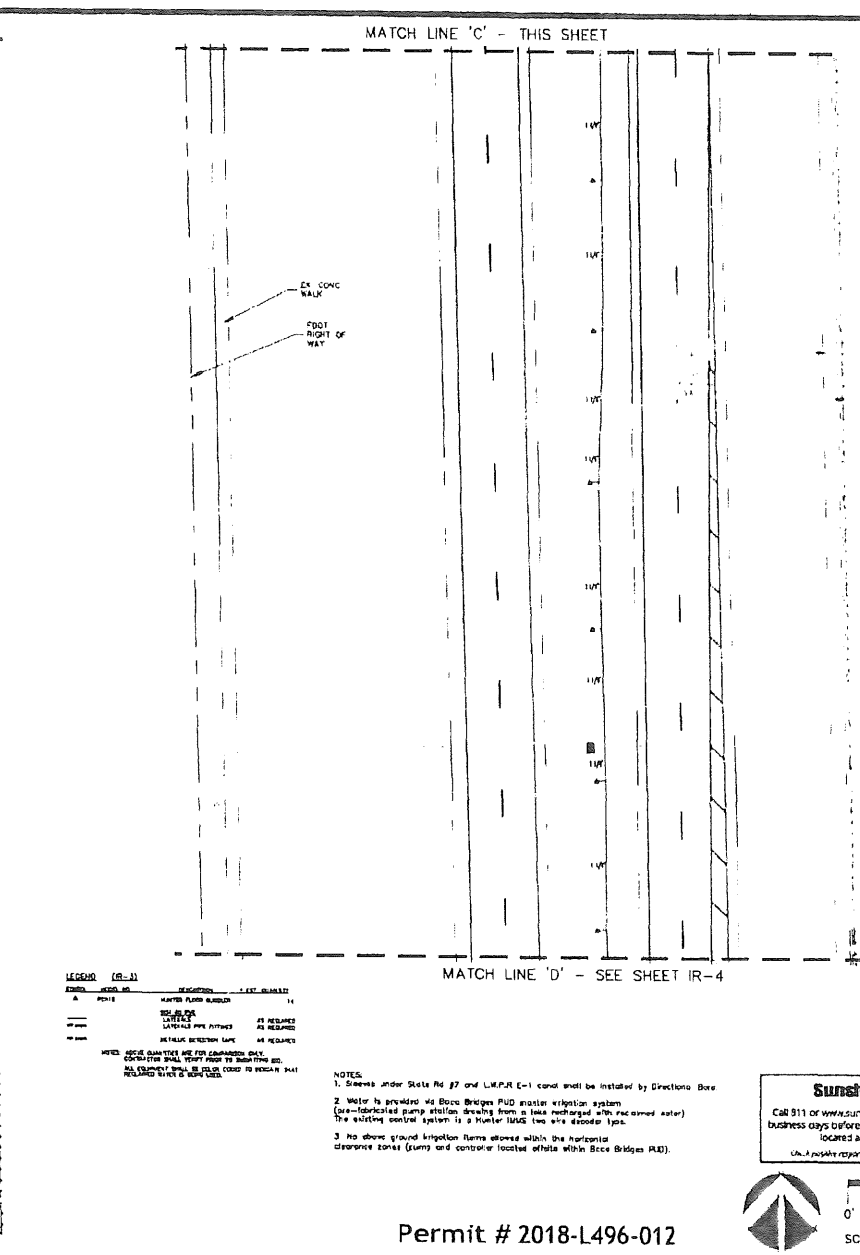
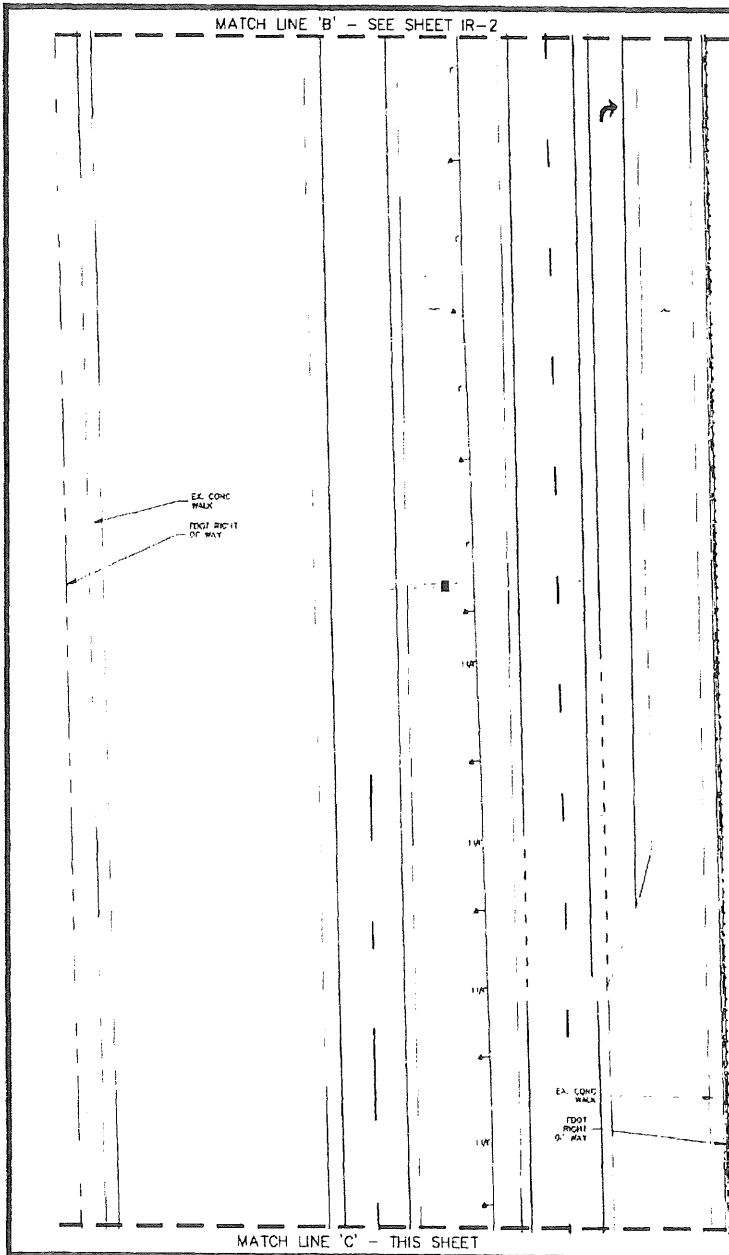
Permit # 2018-L496-012

Kenneth DiDonato, P.E.
 CONSULTING ENGINEER
KID
 GOLF COURSE & COMMERCIAL IRRIGATION DESIGN
 2414 HULLWOOD BLVD., HOLLYWOOD, FLORIDA 33020
 (954) 942-1201

PROJECT TITLE
**HYDER SOUTH AGR-PUD
 -441' MEDIAN
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN**

Kenneth DiDonato, P.E.
 M.D.
 2019.08.07
 4 100842
 Kenneth DiDonato
 P.E. Lic. #20891

PROJECT NO 2018-31
 DRAWN BY RMD
 DESIGNED BY RMD
 SCALE: 1"=20'-0"
 DATE: JUL 25 19
 DWG. NO. IR-2
 SHEET NO. 1 OF 1
 REVISIONS:
 1. 8-5-2019



LEGEND (IR-1)

SYMBOL	DESCRIPTION	NOTES
---	GRAVEL FURROW BOUNDS	14'
---	SOIL BENCH	AS REQUIRED
---	LATERALS	AS REQUIRED
---	LATERALS WITH FITTINGS	AS REQUIRED
---	MANHOLE	AS REQUIRED
---	WALKWAY	AS REQUIRED

NOTES:
 1. SEE QUANTITIES FOR COMPASSION PLANT.
 2. COMPASSION PLANT SHALL BE PLANTED TO BEAR THE SOIL.
 3. ALL EQUIPMENT SHALL BE PLANTED TO BEAR THE SOIL.
 4. ALL EQUIPMENT SHALL BE PLANTED TO BEAR THE SOIL.

- NOTES:**
- Sleeves under Slote No 27 and L.M.P.R. E-1 canal shall be installed by Directional Bore.
 - Water is provided by Boca Bridges PUD master irrigation system (see individual pump station drawings from a lake northeast of the canal water). The existing control system is a Hunter IMASS (two wire remote type).
 - No above ground irrigation lines allowed within the horizontal clearance zones (turns and control located within Boca Bridges PUD).

Sunshine 811
 Call 811 or www.sunshine811.com two (2) business days before digging to have utilities located and marked.
 Use a responsible response - see page 1014.2



0' 10' 20' 40'
 SCALE: 1"=20'-0"

Permit # 2018-L496-012

Kenneth DiDonato, P.E.
 CONSULTING ENGINEER
 COMMERCIAL IRRIGATION DESIGN
 2000 W. PALM BEACH BLVD., SUITE 200
 PALM BEACH, FLORIDA 33480
 PH: 561-833-2500
KID

PROJECT TITLE: **HYDER SOUTH AGR-PUD
 -441 MEDIUM
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN**

Kenneth DiDonato, P.E.
 M.D.
 2019.08.14 10:08 AM
 KID

PROJECT NO: 2018-31
 DRAWN BY: KJD
 DESIGNED BY: KJD
 SCALE: 1"=20'-0"
 DATE: JUL 2019
 DWG. NO: IR-3
 SHEET NO: 07
 REVISIONS:
 1. 8-5-2019

SCALE

MATCH LINE 'D' - SEE SHEET IR-3

MATCH LINE 'E' - THIS SHEET

POINT-OF-CONNECTION
CONNECT TO EXISTING MAIN LINE AND
TRIP WIRE CABLE ORIGINATING FROM
PUMP STATION AND CONTROLLER LOCATED
OFFSITE WITHIN THE BOUNDARIES OF
BOCA BRIDGES PALM WATER AND ELECTRICAL
CONNECTIONS TO BE FIELD LOCATED.

3" HOPE LATERAL
INSTALLED UNDER CANAL AND
PROTECTED BY DIRECTIONAL BURE
CONCRETE CURB
4" PVC 11 1/2" DIA. 112
GATE VALVE
WIRE CONDUIT

EX. CONC
WALK
EXIST
RIGHT
OF
WAY

EX. CONC
WALK
EXIST
RIGHT
OF
WAY

EX. CONC
WALK
EXIST
RIGHT
OF
WAY

SYMBOL	DESCRIPTION	QUANTITY
①	4" PVC 11 1/2" DIA. 112	1
②	3" HOPE LATERAL	1
③	WIRE CONDUIT	1
④	GATE VALVE	1
⑤	CONCRETE CURB	1
⑥	EXIST. CONC WALK	1
⑦	EXIST. RIGHT OF WAY	1

MATCH LINE 'E' - SEE SHEET IR-5

MATCH LINE 'E' - THIS SHEET

NOTES:
1. Sleeves under State Rd #7 and L.W.P.R. E-1 cond shall be installed by District Office.
2. Water is provided by Boca Bridges PUD master irrigation system (pre-fabricated pump station drawing from a tube installed with radiused water). The existing control system is a Hunter BWS line at a circular type.
3. No above ground irrigation items allowed within the horizontal clearance zones (pump and controller located outside Boca B Jgms PUD).



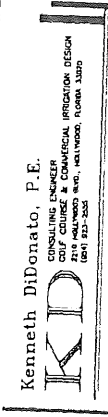
Kenneth DiDonato, P.E.
CONSULTING ENGINEER
CITY OF BOCA RATON
PALM BEACH COUNTY, FLORIDA
2018.08
410.09.12
0400

PROJECT NO. 2018 31
DRAWN BY: KOD
DESIGNED BY: KOD
DATE: 11-20-18
DATE: MAY 2018
SIT. NO. IR-4
REVISIONS: 1 of 1
2018-5-9-2018

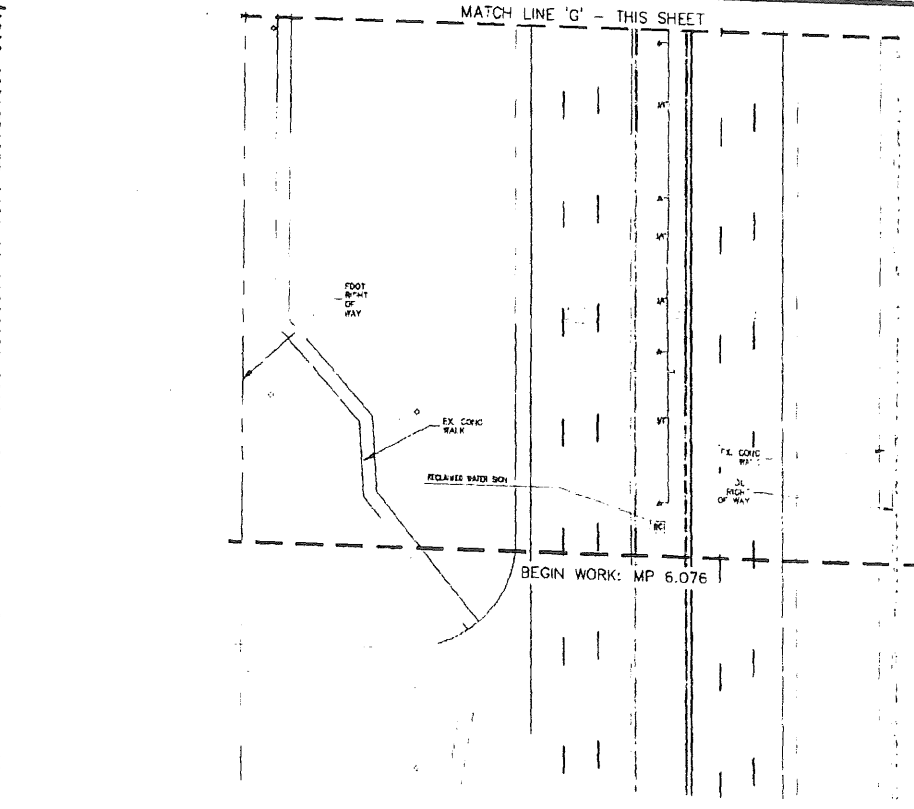
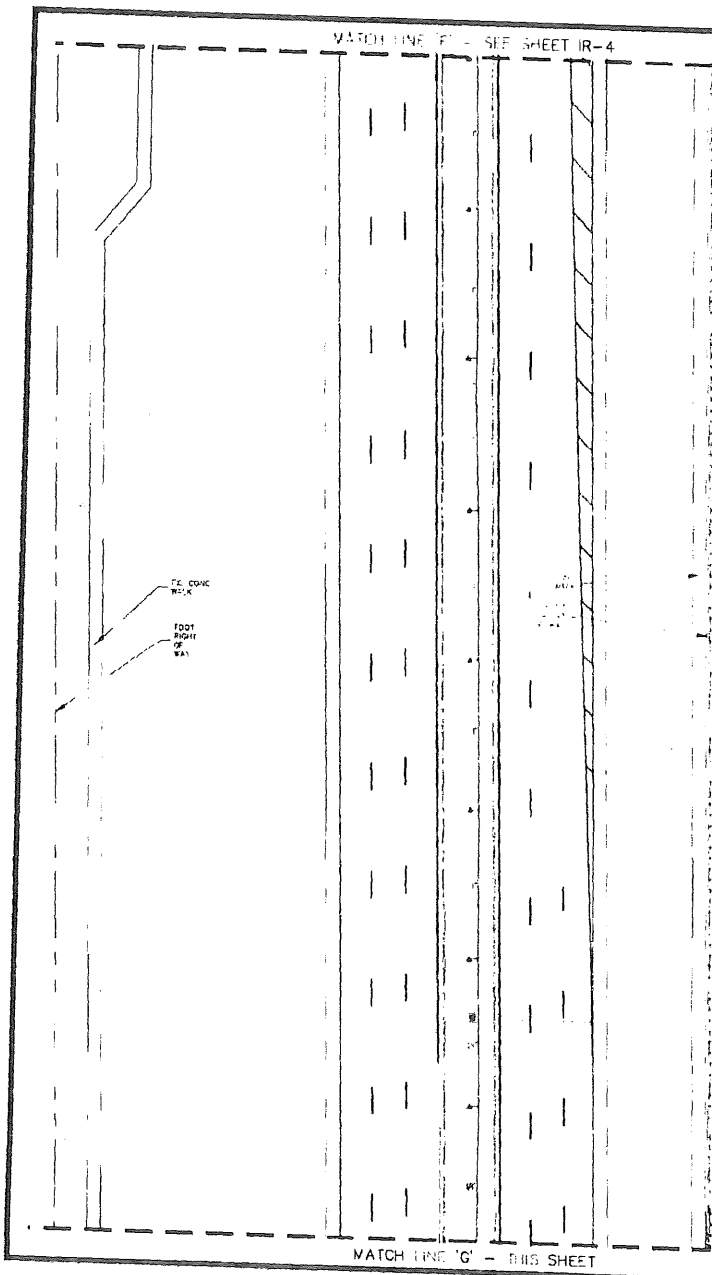
Permit # 2018-L496-012



SCALE: 1" = 20' - 0"



PROJECT TITLE: IYDER SOUTH AGR-PUD
-441 MEDIUM
PALM BEACH COUNTY, FLORIDA
IRRIGATION PLAN



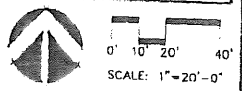
LEGEND (IR-5)

SYMBOL	DESCRIPTION	REMARKS
A	FOOT RIGHT OF WAY	AS SHOWN
B	EX. CONCR. WALK	AS SHOWN
C	RECLAIMED WATER BOX	AS SHOWN

NOTES:
 1. ABOVE DIMENSIONS ARE FOR EXPANSION ONLY.
 2. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO CENTER UNLESS OTHERWISE NOTED.

- NOTES:**
1. Sewers under State Rd #7 and L.W.P.R. E-1 canal shall be installed by Other/Local Gov.
 2. Meter is provided via Boca Bridges PUD master irrigation system (pre-horizontal pump station drawing from g. later recharged with reclaimed water). The existing control system is a Hunter BAC2 two wire decoder type.
 3. No above ground irrigation lines allowed within the horizontal clearance zones (pump and controller located offsite with Boca Bridges PUD).

Sunshine
 Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.



Permit # 2018-L496-012

Kenneth DiDonato, P.E.
 CIVIL ENGINEER
 2110 HOLLYWOOD BLVD., SUITE 200
 PALM BEACH COUNTY, FLORIDA 33420
 (561) 822-2553

KID

**HYDER SOUTH AGR-PUD
 -441 MEDIUM
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN**

PROJECT TITLE: HYDER SOUTH AGR-PUD -441 MEDIUM PALM BEACH COUNTY, FLORIDA IRRIGATION PLAN

PROJECT NO. 2018-31
 DRAWN BY: KMD
 DESIGNED BY: KMD
 SCALE: 1"=20'-0"
 DATE: JUL 2018
 SHEET NO. IR-5
 SHEET NO. OF 5
 REVISIONS: 0

Kenneth DiDonato
 2019.06.11
 106927
 -0400'
 Kenneth DiDonato
 P.E. Lic. #20892

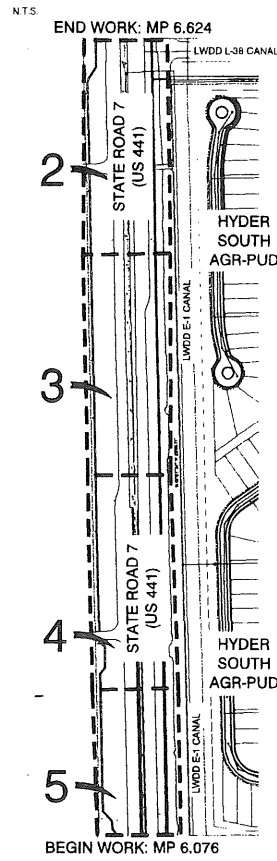
Hyder South AGR-PUD

by Lyons Road V, LLC

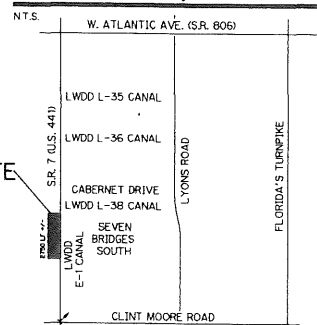
Palm Beach County, Florida

U.S. Hwy. 441 (S.R. 7) Median Landscape Plan

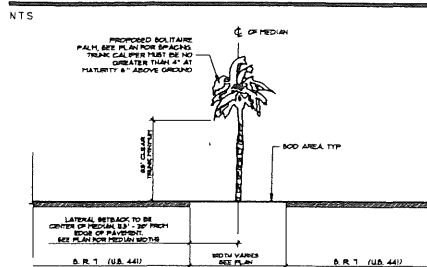
Sheet Key



Location Map



Typical Median Cross Section



Sheet Index

- L-1 Cover Sheet - Key Map, Location Map, Sheet Index, Plant List
- L-2 441 Median Landscape Plan
- L-3 441 Median Landscape Plan
- L-4 441 Median Landscape Plan
- L-5 441 Median Landscape Plan

Plant List (Overall)

Plant List (Seven Bridges South)

PLANT	QTY.	NAME	REMARKS
PE	36	Myrsine elegant / Alexander Palm	63" dia. single stem trunk caliper must be no more than 4" at maturity & 8" above ground. All from Florida H.
BD		Paspalum notatum / Argentine / Bahia Grass	suggested, seeded from seed tray

NOTE: ALL PLANT MATERIAL SHALL MEET OR EXCEED AGE AND CONTAINER SPECIFICATIONS IN PLANT SPECIFICATIONS. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO VERIFY AVAILABILITY BEFORE ORDERING FROM SUPPLIER.

**** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY SEE SHEETS L2 THRU L4**

**** DESIGN SPEED AND POSTED SPEED = 45 MPH IN 6 LANE DIVIDED HIGHWAY SEE SHEET L5**

Notes:

- MOT will be required for work within FDOT Right of Way. Refer to appropriate MOT Standard Plans Index.
- MOT within FDOT Right of Way will require a K permit.
- All materials and construction within the Florida Department of Transportation Design (P.D.O.T.) right-of-way shall conform to the latest version of FDOT Standard Plans for Road and Bridge Construction and latest version of the Standard Specifications for Road and Bridge Construction.
- All maintenance of Traffic M.O.T. for this project will be in compliance with the Department's current edition of the FDOT Standard Plans for Road and Bridge Construction Index, (10-00-000) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). The Operations Engineer or his design review is the right to direct the removal/relocation/ modification of any traffic devices at the permittee's sole expense. Special attention will be given to indices 102-611, 102-612, 102-613, and 102-660.
- Permittee will provide the necessary direction in accordance with Section 123.5 of the FDOT Standard Specifications for Road & Bridge Construction (latest edition) prior to final acceptance by the P.D.O.T.
- Traffic Control shall be in accordance with the project plan, the current edition of the Florida Department of Transportation Design Standard (100 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- It is the Permittee's responsibility to obtain final acceptance of permitted work (completed) and the restoration of the Right-of-Way from the Department prior to usage.
- Permittee will restore the Right of Way as a minimum to its original condition or better in accordance with Florida Department of Transportation's Standard Specifications for Road & Bridge Construction as directed by the Resident Operations Engineer.
- Restricted hours of operation for lane closures will be from 9:00am to 4:00 pm (Monday-Friday), unless otherwise approved by the Operations Engineer, or otherwise. MOT shall be posted by 4:00 pm and not start before 8:00 am.
- Permittee will provide Pre-Construction meeting, (postponable), final acceptance of work, etc all permitted work with Resident Engineer or his/her design review prior to construction.
- The installation of all new landscape materials will be in accordance with current editions of the Standard Indices (technical clearances/none requirements).
- PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE
- Permittee will provide the Department with certified "As-Built" plans prior to final acceptance of the permitted work.
- Landscape installation shall comply with current FDOT Standard Specifications Section 580-001
- Contractor to verify all background utilities prior to commencing work.

FDOT General Notes:

- GOVERNING STANDARD PLANS: Florida Department of Transportation. Standard Plans for Road and Bridge Construction (latest version) and applicable Interim Revisions (IRs).
- GOVERNING STANDARD SPECIFICATIONS: Florida Department of Transportation. Standard Specifications for Road and Bridge Construction (latest version).
- Contractor shall repair all damage done to FDOT property during demolition, relocation and/or installation activities at his sole expense.
- Overlap of all suitable excavated materials, as determined by the Department, shall remain in the Department until a final acceptance of the permitted project is fulfilled. Excavated materials shall be loaded by the Permittee, at their cost & expense from the site in the Palm Beach Operations Center or stockpiled in those areas as directed by the Department, including asphalt millings.

FDOT Planting Notes:

- For the portion of landscape plant material that will be installed within the FDOT Right of Way, refer to FDOT Standard Plans Index 580-001 Landscape Installation. (Online Reference: <http://www.fldot.com/design/standardplans/current/PDF/580-001.pdf>)
- Cypress Mulch is not permitted on FDOT right of way. Mulch permitted to be used are Hardwood Mulch (containing no Cypress products), Recycled Mulch or approved equal, certified by the Mulch and Soil Council (MSC). Submit proof of certification to the FDOT District Operations Permit Landscape Inspector upon inspection.
- Sodded areas will be in accordance with Design Standard Index 105 and Standard Specifications Sections 602, 620, 644, 662, 663, 683, 693, 697 of the Department's latest edition of Governing Design Standards and Standard Specifications. All sodded areas will be sodded within one (1) week of installation of said permitted work.

Palm Tree Planting Detail

- Landscape installation shall comply with current FDOT Standard Index 580-001 details

Plant Specifications

- SPECIES AND SIZE** shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Part 1 (1), latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Propagated or Specimen shall be Florida Grade Number or better as determined by the Florida Division of Plant Industry. Specimens means an exceptionally heavy, symmetrical, tightly knit plants so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.
- GENERAL REQUIREMENTS**
All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of diseases and insect eggs and larvae, and shall have adequate root systems. Trees for planting shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the plans, the plants furnished shall be normal for the variety. Plants shall be shipped prior to delivery only upon the approval of the Landscape Architect.
- CONTAINER GROWN STOCK**
All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The container shall have legs which are spaced equally and in a healthy growing condition. An established container grown plant shall be grown in such condition as to permit its removal from the container without root damage to the root mass which shall remain intact and held together when removed from the container. Plants not bound in containers are unacceptable.
- MEASUREMENTS**
- HEIGHT**: Height shall be measured from ground to the average height of canopy. Branches should be measured to the end and of branching evenly around the crown from the center of the trunk. Measurements shall not include any terminal growth. Single trunk trees shall be free of "Y" crosses that could be points of weak limb structure or disease infestation.
- SPREAD**: Spreads shall be measured from the ground to the average points where mature plant growth spreads. Spreads shall be measured to the end of branching equally around the crown mass. Measurements are not to include any terminal growth.
- TRUNK**: Clear Trunk (C.T.) shall be measured from the ground at the time of installation to the point where the mature spread trunk joins the immature or green portion of the trunk or the head. Overall height (O.H.) shall be measured from the ground at the time of installation to a point one quarter the length of the unspread trunk. Palm with unspread or unburned trunk will not be accepted.

- SOIL**
Planting soil for use in preparing backfill for plant pits shall be added at a rate of not less than 75% percent to locally available topsoil. This soil mix shall be used in all plant pits except ball pits which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loam character. It shall contain forty (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses such as Bermuda or nut grass and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.
- COMMERCIAL FERTILIZER**
Two fertilizers shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. The fertilizer shall be delivered to the site in the original unopened bags with bearing the Manufacturer's statement of analysis and shall meet the following requirements: Nitrogen (N) percent, sixteen (16) percent; Phosphorus (P) percent, twenty (20) percent; Potassium (K) percent, ten (10) percent; Sulfur (S) percent, five (5) percent.
- APPLICATION**
The two fertilizers will be applied at the following rates:
PLANT SIZE: 16"-1-2" : 2" AGROFORM TABLET (2) Grams/
1"-4" caliper : 2 lbs/1" caliper : 2 1/2" caliper
"Florida Best Coast Palm Special" will be applied to all palms at installation at a rate of 12 lbs per inch of trunk caliper unless otherwise specified.
- MULCH**
Cypress mulch is not permitted on FDOT Right of Way. Mulch material shall be three (3) inches of mulched mulch (containing no Cypress products) registered with an approved equal, certified by the Mulch and Soil Council (MSC). Submit proof of certification to the FDOT District Operations Permit Landscape Inspector upon inspection.
- SUBSTITUTIONS**
No substitutions of plant material types or sizes will be allowed without written consent of the Landscape Architect. If no material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.



design group, inc

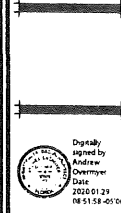
LYONS ROAD V, LLC
225 South U.S. Highway One
Suite 535
Pahokee, Florida 33477

Telephone: (561) 747-5566
Fax: (561) 747-2041
Email: mail@pyd.com
License #LIC-6900297

HYDER SOUTH AGR-PUD - 441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 DEVELOPER: LYONS ROAD V, LLC
 COVER SHEET

DATE: 6/28
DRAWN BY: AJC/ANP
JOB NO.: 18-04
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FILENAME: 066_441_H_05

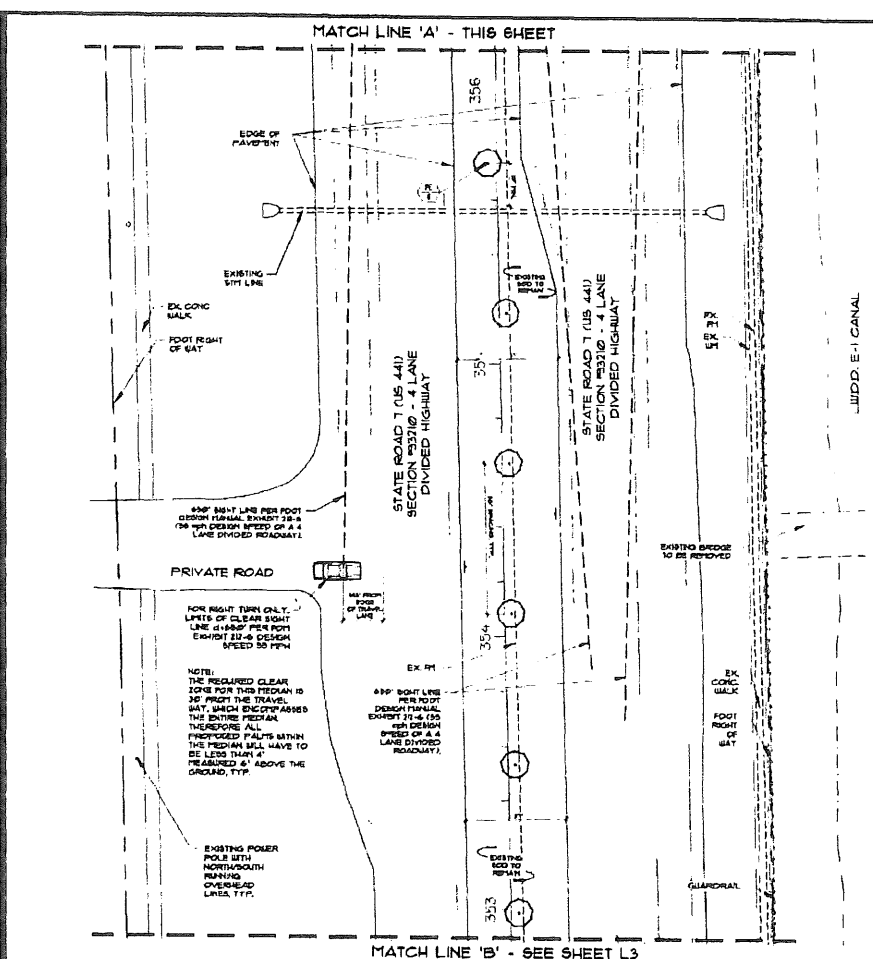
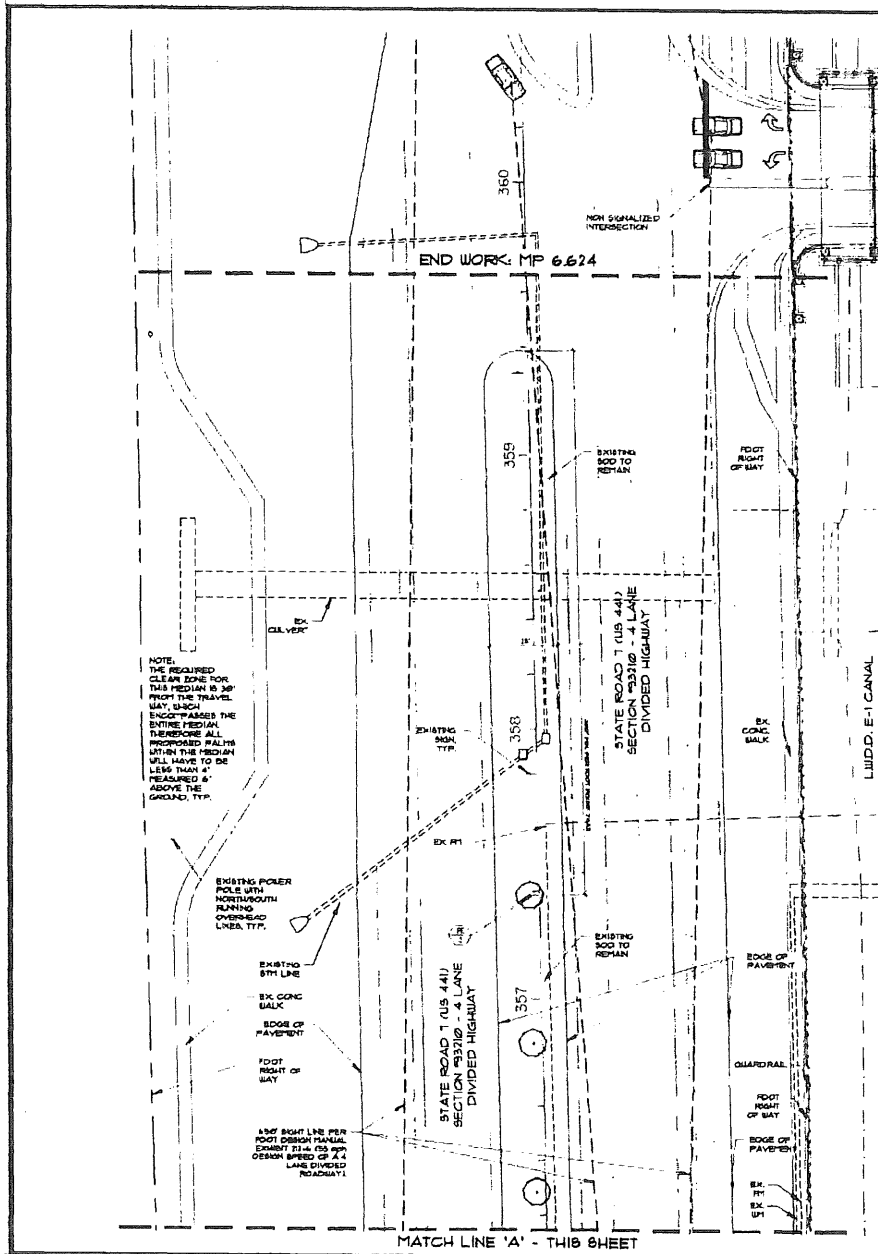
REVISIONS:
02/18 FDOT Comments
03/17 Refer to revision
03/18 FDOT notes



Digitally signed by Andrew Dwyer
Date: 2018.01.23 08:51:38-05'00'

Permit # 2018-L496-012

L1

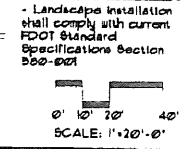


**** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY**

Plant List (L-2 Only)

SYM	QTY	NAME	SPECIFICATIONS
FR	3	Psychotria arguta / Alexander Palm	80" ht, single stem, trunk caliper must be no more than 4" at maturity & 1" above ground, full crown, Florida #
SD		Stipa capensis 'Argentine' / Grass	Vegetated used from local light

NOTE:
ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND CONTAINER SPECIFICATIONS IN PLANT LIST. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY ISSUES WITH OWNER PRIOR TO COMMENCING WORK.



Sunshine 11
Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.
Check for the response code by the 10/1/2018

Permit # 2018-L496-012

PARKER-YANNETTE
design group, inc.
LANDSCAPE ARCHITECTURE
PLANNING • GRAPHICS
17000 South 11th Highway, Suite 200
Boynton Beach, Florida 33477
Telephone: (561) 747-5007
Fax: (561) 747-2011
Email: info@pyd.com
Licenses: FL-C-000277

HYDER SOUTH AGR-PUD - 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
DEVELOPER: LYONS ROAD V, LLC
MEDIAN PLANTING PLAN

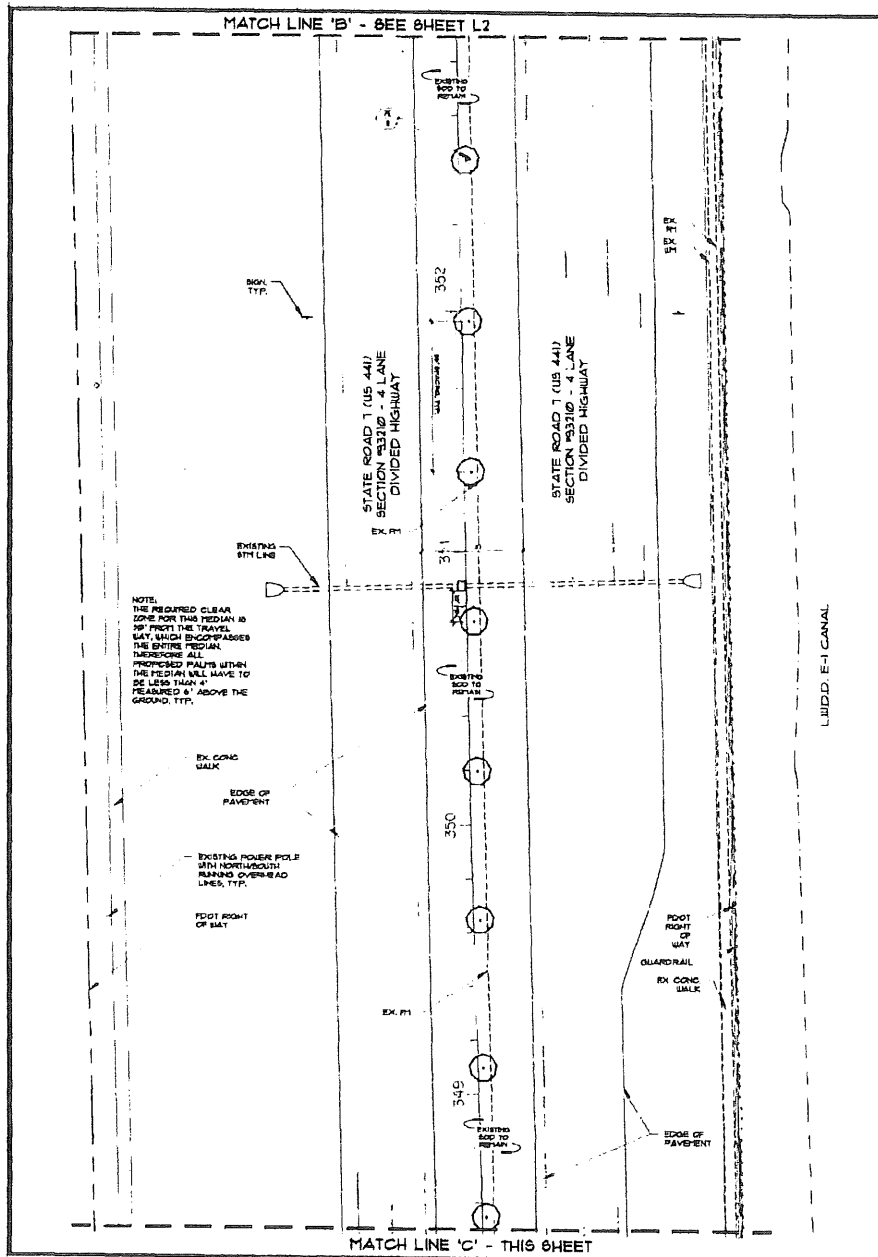
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DESIGN BY: OCT/2018/40x60
JOB NO: 17-008
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PLANTING: 10/24/18



L2

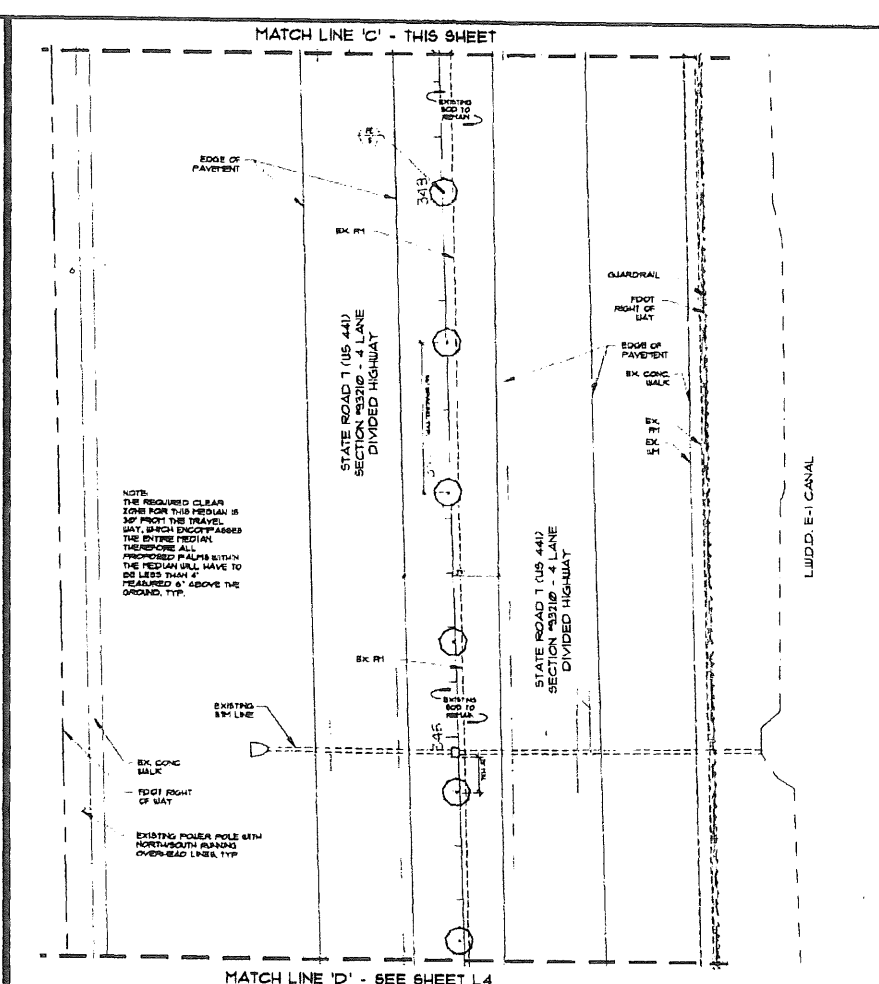
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MATCH LINE 'C' - THIS SHEET



MATCH LINE 'C' - THIS SHEET

MATCH LINE 'D' - SEE SHEET L4



Plant List (L-3 Only)

SP. NO.	QTY.	PLANT NAME	SPECIFICATIONS
PE	14	<i>Psychoparus elegans</i> / Alexander Palm	55" cal., single stem, trunk caliper shall be no more than 4" at maturity & 7" above ground, MI Brand, Florida #
B00		<i>Paspalum notatum</i> 'Argentine' / Bahia Grass	14 1/2' aggregate, seed 'true, 14/18 light

NOTE:
ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND CONTAINER SPECIFICATIONS IN PLANT LIST. PLANT MATERIAL NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY INDEX WITH OWNER PRIOR TO COMMENCING WORK.

**** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY**

Landscapes Installation shall comply with current PDOT Standard Specifications Section 580-021

Sunshine 811

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

Permit # 2018-L496-012

PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING & DESIGN
235 South US Highway One
Suite 139
Apopka, Florida 32717

Telephone (407) 747-5063
Fax (407) 747-2414
Email: pny@pny.com
License #LC-400297

HYDER SOUTH AGR-PUD - 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
DEVELOPER: LYONS ROAD V, LLC
COVER SHEET

DATE: 02-28-2018
DRAWN BY: COTY/ADP
JOB NO: 17-104
SCALE: 1" = 20'-0"
PLDW: 608 441 P 00

REVISIONS:
02/28/2018 PDOT Comments
03/15/2018 REVISED W/PERMITS

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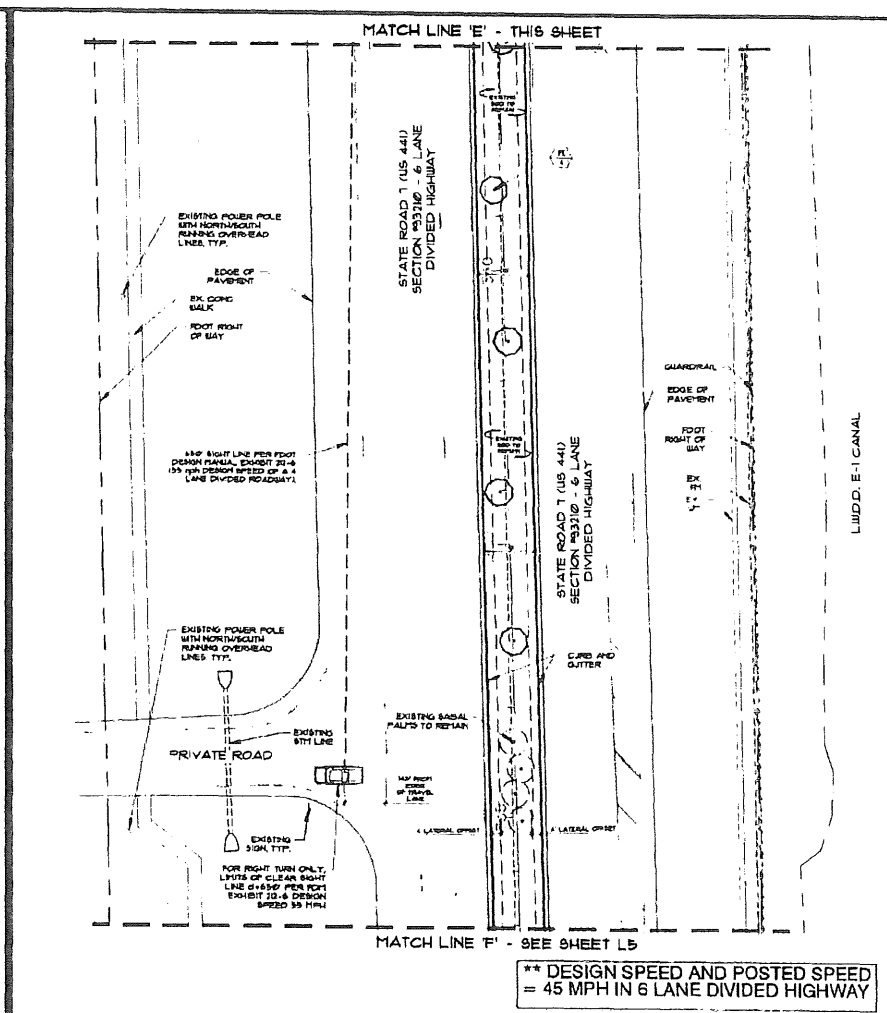
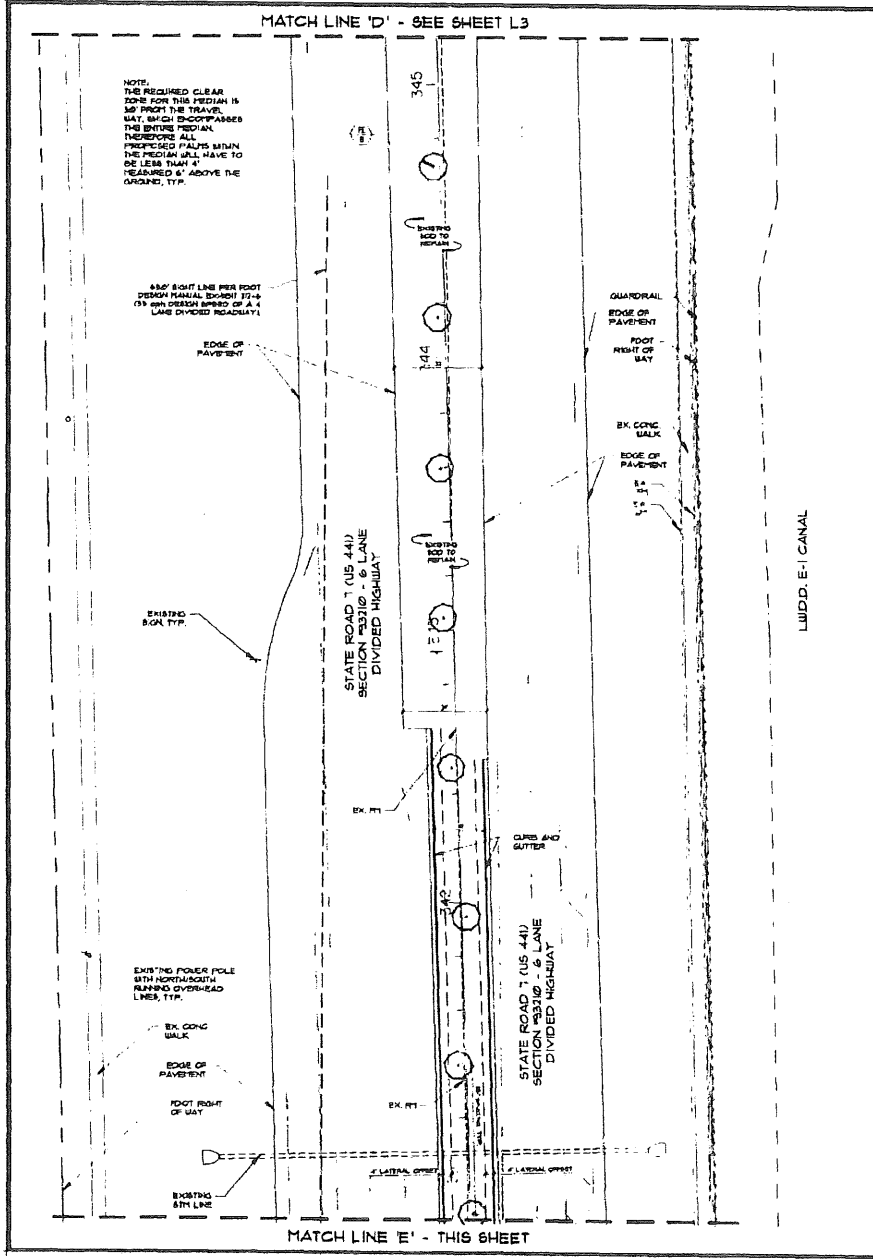
SCALE 1"=20'-0"

Sunshine 811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.

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1/28/18

L3



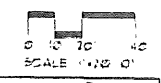
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Plant List (L-4 Only)

SYM	CITY	NAME	SPECIFICATIONS
PA1	PA	Plythoporus elegans / Alexander Palm	65" all single stem, trunk diameter shall be no more than 4" at maturity & 2" above ground, full frond, Florida n
600	PA	Palmetto rotundifolia / Argemone / Delta Grass	sluggish, used here, full light

NOTE:
ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND CONTAINER SPECIFICATIONS IN PLANT LIST. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY ISSUES WITH OWNER PRIOR TO COMMENCING WORK.

Landscape installation shall comply with current FDOT Standard Specifications Section 580-001



Sunshine811
Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
This service is provided at no charge.

Permit # 2018-L496-012

PARKER-YANNETTE
design group, inc.

LANDSCAPE ARCHITECTURE
PLANNING & DESIGN
112 South U.S. Highway One
Suite 300
Lakeland, Florida 33801

Telephone: (561) 545-5060
Fax: (561) 743-2041
Email: mall@pyd.com
License # LC-0008291

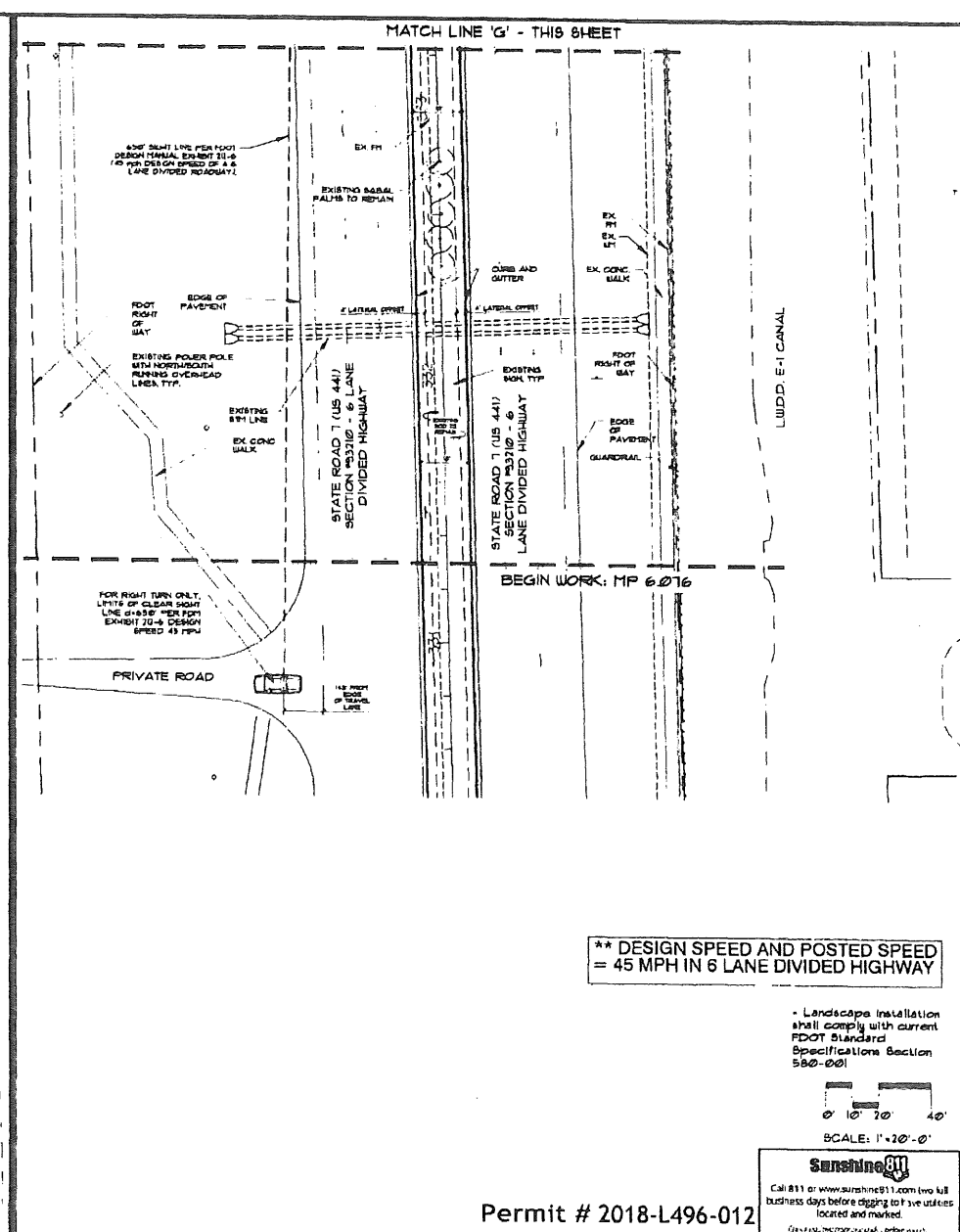
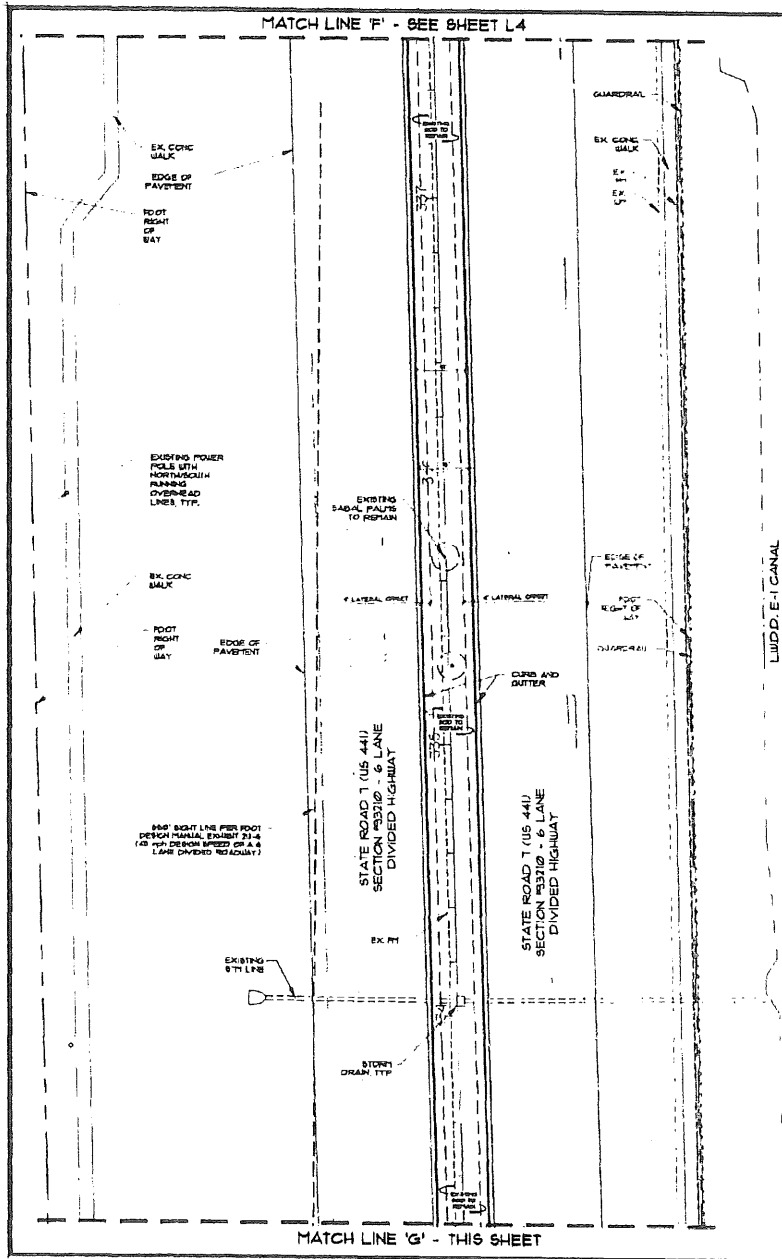
HYDER SOUTH AGR-PUD - 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
DEVELOPER: LYONS ROAD V, LLC

DATE: 6.28.18
DRAWN BY: COTTA/CLP
JOB NO.: 17-18-01
SCALE: 1" = 30'-0"
FILE NO.: 200-441-P-03

REVISIONS:
01: 06/28/18: Initial design

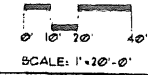
COVER SHEET

L4



**** DESIGN SPEED AND POSTED SPEED
= 45 MPH IN 6 LANE DIVIDED HIGHWAY**

- Landscape installation shall comply with current PDOT Standard Specifications Section 580-001



Sunshine
 Call 811 or www.sunshine11.com two full business days before digging to have utilities located and marked.
© 2018, 2019, 2020, 2021, 2022, 2023, 2024

Permit # 2018-L496-012

PARKER-YANNETTE
 design group, inc.

LANDSCAPE ARCHITECTURE
 FLORIDA LICENSE # 17341
 12000 BAYVIEW BLVD, SUITE 100
 MIAMI, FLORIDA 33177
 Telephone: (305) 737-1063
 Fax: (305) 737-2341
 Email: info@pyd.com
 License: LC-0008297

HYDER SOUTH AGR-PUD - 441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 DEVELOPER: LYONS ROAD V, LLC
 COVER SHEET

DATE: 6/18
 DRAWN BY: JAC/JAC
 JOB NO.: 18-04
 SCALE: 1" = 20'-0"
 PLOT DATE: 06/18/2018 09:41:00

REVISIONS:
 02 IN PDOT COMMENTS
 03 IN PDOT COMMENTS

Digitally signed by Andrew Demme Date: 2018.06.18 11:26:07 -0400

15

Return to:
Boca Raton Associates VII, LLLP
1600 Sawgrass Corporate Parkway, Suite 400
Sunrise, Florida 33323

AGREEMENT BETWEEN PALM BEACH COUNTY AND BOCA RATON ASSOCIATES VII, LLLP REGARDING LANDSCAPING AND IRRIGATION WITHIN FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY

THIS AGREEMENT REGARDING LANDSCAPING AND IRRIGATION WITHIN A FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY (“Agreement”) is made on the date and year set forth below between **PALM BEACH COUNTY**, a political subdivision of the State of Florida, by and through its Board of County Commissioners (“County”), and **BOCA RATON ASSOCIATES VII, LLLP**, a Florida limited liability limited partnership, its successors, assigns, transferees, and grantees (“Owner”).

WHEREAS, Owner is the owner and developer of that certain residential community known as Boca Bridges, located in Palm Beach County, Florida (“County”) and abutting US 441/State Road 7 (“SR 7”) right of way, and as described on attached **Exhibit A**, less and except any lots conveyed to third party homeowners (the “Property”); and

WHEREAS, this Agreement is being executed in connection with the Project Control Number 2005-00455, Engineering Condition 2 of Palm Beach County Resolution Number R-2017-0972 regarding the Property; and

WHEREAS, SR 7 is under the jurisdiction of the Florida Department of Transportation (“Department”); and

WHEREAS, the Department requires the County to enter into District Four (4) Amendment Number Two (2) to State of Florida Department of Transportation Landscape Memorandum of Agreement (“Amended LMOA”), attached as **Exhibit B** and incorporated herein, regarding landscape and irrigation improvements within SR 7 from Mile Post (“M.P.”) 6.076 to M.P. 6.624; and

WHEREAS, Owner agrees to install and maintain landscape and irrigation improvements in the SR 7 right of way, including the median, abutting the Property, from M.P. 6.076 to M.P. 6.624 (“Boca Bridges Improvements”), pursuant to the Amended LMOA, including its **Exhibit B**, Landscape Improvement Plans; and

WHEREAS, Owner agrees to indemnify the County and Department in relation to its work on the Boca Bridges Improvements pursuant to the Amended LMOA, as provided herein.

NOW THEREFORE, in consideration of One Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, County and Owner

agree, as follows:

1. The above recitations are true and correct and are incorporated herein.
2. Assumption. Owner hereby assumes all rights, duties and obligations required of County in, to, and under the Amended LMOA regarding the Boca Bridges Improvements, and Owner agrees to comply with all terms and conditions of the Amended LMOA.
3. Installation and Maintenance of Improvements.
 - A. Owner hereby agrees to install and maintain the Boca Bridges Improvements at all times, in accordance with the Amended LMOA. Owner shall remove, when requested by the County or the Department, at no expense to the County or the beneficiaries or holders of SR 7, the Boca Bridges Improvements from SR 7 within thirty (30) days of written notice, addressed to Owner or Owner's successors or assigns, that said Boca Bridges Improvements are not properly maintained pursuant to the Amended LMOA.
 - B. In the event that the Owner fails to remove or maintain the Boca Bridges Improvements located in SR 7 within the thirty (30) days from its receipt of the written notice from the County, County or the Department may remove or maintain the Boca Bridges Improvements without further notice, and Owner shall be responsible for the County's or Department's reasonable direct and indirect costs of removal and/or maintenance of the Boca Bridges Improvements. The County may record, and such costs of maintenance or removal shall be, a lien against the Owner's property should Owner fail to make payment within said thirty (30) days' written notice of the costs.
 - C. Sight obstructions shall not be caused by the Boca Bridges Improvements. If a sight obstruction develops, the Owner shall remove the obstruction within forty-eight (48) hours' notice by the County or the Department, whichever occurs first.
 - D. The Owner hereby acknowledges the County's right to inspect the areas governed by this Agreement at any time to assure compliance with the Amended LMOA, and all conditions, plans and specifications. All reviews, however, shall be performed at the County's discretion. County may stop work if there is a risk to public safety.
 - E. County shall not be responsible to the Owner for damage to any structure, to any of the Owner's property, to the Boca Bridges Improvements.
4. Personnel. The Owner hereby acknowledges that the County is not the employer, supervisor, principal or agent of the Owner and that the Owner is at all times an independent contractor with full responsibility for all obligations and responsibilities imposed under this Agreement and imposed by law. All persons engaged in any of the work or services performed pursuant to this Agreement shall at all times, and in all places, be subject to the Owner's sole direction, supervision, and control. The Owner shall exercise control over the means and manner in which it and its employees perform the work. The Owner does not have the power or authority to bind the County in any promise, agreement

or representation.

5. Insurance. Owner shall at all times during the term of this Agreement keep and maintain in full force and effect, at Owner's sole cost and expense, Comprehensive General Liability with minimum limits of \$1,000,000.00 per occurrence combined single limit for Bodily Injury Liability and Property Damage Liability and Worker's Compensation insurance with minimum limits of \$500,000.00 per Liability. Coverage must be afforded on a form no more restrictive than the latest edition of the Comprehensive General Liability and Worker's Compensation policy without restrictive endorsements, as filed by the Insurance Services Office. The County and Department shall be named as additional insured on such policies.

Owner shall furnish County with Certificates of Insurance of Endorsements evidencing the insurance coverage specified herein prior to the beginning performance of work under this Agreement.

Coverage is not to cease and is to remain in full force and effect (subject to cancellation notice) until all performance required of Owner is completed. All policies must be endorsed to provide the County and Department with at least thirty (30) day notice of cancellation and or/ or restriction. If any of the insurance coverage will expire prior to the completion of work, copies of renewal policies shall be furnished at least (30) days prior to the date of expiration.

6. Assignment to Homeowner's Association. The Owner further agrees to include a provision in the homeowners association's governing documents to allow the homeowners association(s) to levy, collect and expend fees to maintain the Boca Bridges Improvements. After the Owner completes the installation of the Boca Bridges Improvements in accordance with the Amended LMOA, including approval and acceptance by the Department, if applicable, the Owner shall have the right to assign, transfer and convey all of its rights, duties and obligations under and in connection with this Agreement to Boca Bridges Homeowners Association, Inc. or any other homeowners association subsequently formed or currently existing, and responsible for the operation and maintenance of the common areas and facilities within the Property (collectively "HOA(s)"). Upon the assignment of the Agreement to, and the assumption of the Agreement by the HOA(s), which assignment and assumption shall be in writing, the Owner shall be relieved, released and discharged from any and all of its rights, duties and obligations under this Agreement. Except as provided in this section above, Owner shall not assign, sublet, convey or transfer any of its interest or duty in this Agreement without the prior written consent of the County.
7. Non-Discrimination. The Owner represents and warrants that it will comply with the County's Commercial Nondiscrimination Policy as described in Resolution 2017-1770, as amended. As part of such compliance, the Owner shall not discriminate on the basis of race, color, national origin, religion, ancestry, sex, age, marital status, familial status, sexual orientation, gender identity or expression, disability, or genetic information in the solicitation, selection, hiring or commercial treatment of subcontractors, vendors, suppliers, or commercial customers, nor shall the Owner retaliate against any person for

reporting instances of such discrimination. The Owner shall provide equal opportunity for subcontractors, vendors and suppliers to participate in all of its public sector and private sector subcontracting and supply opportunities, provided that nothing contained in this clause shall prohibit or limit otherwise lawful efforts to remedy the effects of marketplace discrimination that have occurred or are occurring in the County's relevant marketplace in Palm Beach County. The Owner understands and agrees that a material violation of this clause shall be considered a material breach of the Agreement and may result in termination of the Agreement. This clause is not enforceable by or for the benefit of, and creates no obligation to, any third party. All subcontractor agreements shall include a commercial non-discrimination clause.

8. Indemnification. Owner shall protect, defend, reimburse, indemnify and hold County, its agents, employees and elected officers free and harmless from and against any and all claims, liability, expense, loss, cost, fine, damages or causes of action of every kind or character, including attorney's fees and costs, whether at trial or appellate levels or otherwise arising out of or related to the Improvements, arising during or as a result of Owner's performance of the terms of this Agreement, or due to the acts or omissions of Owner. This paragraph shall survive the expiration or termination of this Agreement.
9. Public Records. Notwithstanding anything contained herein, as provided under Section 119.0701, F.S., if the Owner: (i) provides a service; and (ii) acts on behalf of the County as provided under Section 119.011(2) F.S., the Owner shall comply with the requirements of Section 119.0701, Florida Statutes, as it may be amended from time to time. The Owner is specifically required to:
 - A. Keep and maintain public records required by the County to perform services as provided under this Agreement.
 - B. Upon request from the County's Custodian of Public Records, provide the County with a copy of the requested records or allow the records to be inspected or copied within a reasonable time at a cost that does not exceed the cost provided in Chapter 119 or as otherwise provided by law. The Owner further agrees that all fees, charges and expenses shall be determined in accordance with Palm Beach County PPM CW-F-002, Fees Associated with Public Records Requests, as it may be amended or replaced from time to time.
 - C. Ensure that public records that are exempt, or confidential and exempt from public records disclosure requirements are not disclosed except as authorized by law for the duration of the contract term and following completion of the Agreement, if the Owner does not transfer the records to the public agency.
 - D. Upon completion of the Agreement, the Owner shall transfer, at no cost to the County, all public records in possession of the Owner unless notified by County's representative/liaison, on behalf of the County's Custodian of Public Records, to keep and maintain public records required by the County to perform the service. If the Owner transfers all public records to the County upon

completion of the Agreement, the Owner shall destroy any duplicate public records that are exempt, or confidential and exempt from public records disclosure requirements. If the Owner keeps and maintains public records upon completion of the Agreement, the Owner shall meet all applicable requirements for retaining public records. All records stored electronically by the Owner must be provided to County, upon request of the County's Custodian of Public Records, in a format that is compatible with the information technology systems of County, at no cost to County.

Failure of the Owner to comply with the requirements of this section shall be a material breach of this Agreement. County shall have the right to exercise any and all remedies available to it, including but not limited to, the right to terminate for cause. Owner acknowledges that it has familiarized itself with the requirements of Chapter 119, F.S., and other requirements of state law applicable to public records not specifically set forth herein.

IF THE OWNER HAS QUESTIONS REGARDING THE APPLICATION OF CHAPTER 119, FLORIDA STATUTES, TO THE OWNER'S DUTY TO PROVIDE PUBLIC RECORDS RELATING TO THIS AGREEMENT, PLEASE CONTACT THE CUSTODIAN OF PUBLIC RECORDS AT RECORDS REQUEST, PALM BEACH COUNTY PUBLIC AFFAIRS DEPARTMENT, 301 N. OLIVE AVENUE, WEST PALM BEACH, FL 33401, BY E-MAIL AT RECORDSREQUEST@PBCGOV.ORG OR BY TELEPHONE AT 561-355-6680.

10. Official Records. It is agreed by Owner, its transferees, successors, grantees and assigns hereto, that this Agreement will be recorded in the Official Records of Palm Beach County, Florida, and that this Agreement shall be a covenant running with the land and be binding upon the Owner, transferees, assigns and successors in interest of the Owner.
11. Audits. The County has established the Office of the Inspector General in Palm Beach County Code, Section 2-421-2-440, as may be amended. The Inspector General's authority includes but is not limited to the power to review past, present and proposed County contracts, transactions, accounts and records, to require the production of records, and to audit, investigate, monitor, and inspect the activities of the Owner, its officers, agents, employees, and lobbyists in order to ensure compliance with contract requirements and detect corruption and fraud.

Failure to cooperate with the Inspector General or interfering with or impeding any investigation shall be in violation of Palm Beach County Code, Section 2-421 - 2-440, and punished pursuant to Section 125.69, Florida Statutes, in the same manner as a second degree misdemeanor.

12. Severability. If any term or provision of this Contract, or the application thereof to any person or circumstances shall, to any extent, be held invalid or unenforceable, the remainder of this Contract, or the application of such terms or provision, to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be

affected, and every other term and provision of this Contract shall be deemed valid and enforceable to the extent permitted by law.

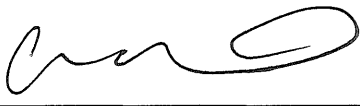
13. Joint Preparation. The preparation of this Agreement has been a joint effort of the Parties, and the resulting Agreement shall not, solely as a matter of judicial constrain, be construed more severely against one of the parties than the other.
14. Amendments. Except as expressly permitted herein to the contrary, no modification, amendment or alteration in the terms or conditions contained herein shall be effective unless contained in a written document executed with the same formality and equality of dignity herewith.
15. No Third Party Beneficiary. No provision of this Agreement is intended to, or shall be construed to, create any third party beneficiary or to provide any rights to any person or entity not a party to this Agreement, including, but not limited to, any citizen or employees of the County and/or the Owner.
16. Effective Date. This Agreement shall be effective upon execution of the Amended LMOA by all parties thereto.
17. This Agreement shall remain in full force and effect until the Agreement is terminated with approval of the County and the Department.

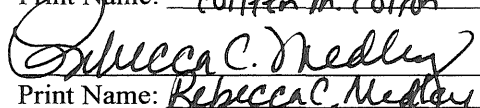
[Signatures Appear on the Following Pages]

IN WITNESS WHEREOF, EXECUTED by Owner this 13th day of January, 2020.


Signed, sealed and delivered in the presence of:

BOCA RATON ASSOCIATES VII, LLLP, a Florida limited liability limited partnership



Print Name: Colleen M. Colton


Print Name: Rebecca C. Medley

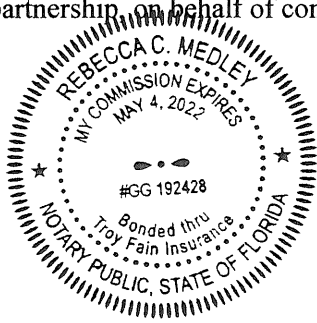
By: 

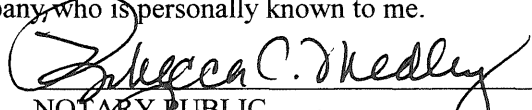
Name: Richard M. Norwalk

Title: Vice President

STATE OF FLORIDA)
COUNTY OF BROWARD)

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 13th day of January, 2020, by Richard M. Norwalk, as Vice President of Boca Raton VII Corporation, a Florida corporation, the general partner of Boca Raton Associates VII, LLLP, a Florida limited liability limited partnership, on behalf of company, who is personally known to me.





NOTARY PUBLIC
Name: Rebecca C. Medley

(type or print)
My Commission Expires: 5/4/2022

[Signatures Continue on the Following Page]

EXECUTED by County this _____ day of _____, 2020.

(COUNTY Seal)

ATTEST:

Sharon R. Bock
Clerk & Comptroller

Palm Beach County, Florida
by its Board of County Commissioners

By: _____
Deputy Clerk

By: _____
_____, Mayor

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY

APPROVED AS TO TERMS
AND CONDITIONS

By: YBH _____
Yelizaveta B. Herman
Assistant County Attorney

By:  _____

EXHIBIT A

Legal Description of "Property"

A PORTION OF BLOCK 70, PALM BEACH FARMS COMPANY PLAT NO. 3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

TRACTS 1 THRU 15, INCLUSIVE, LESS THE RIGHT-OF-WAY FOR LAKE WORTH DRAINAGE DISTRICT LATERAL CANAL NO. 38; ALSO LESS THOSE PORTIONS DESCRIBED IN OFFICIAL RECORDS BOOK 22302, PAGE 1590; LESS THE RIGHT-OF-WAY FOR LYONS ROAD AS RECORDED IN OFFICIAL RECORDS BOOK 12226, PAGE 1899, AND LESS THAT PORTION LYING EAST OF THE EAST RIGHT-OF-WAY FOR SAID LYONS ROAD; TRACTS 18 THRU 31, INCLUSIVE, TRACT 32, LESS THE RIGHT-OF-WAY FOR SAID LYONS ROAD AND LESS THAT PORTION OF TRACT 32 LYING EAST OF THE EAST RIGHT-OF-WAY LINE OF SAID LYONS ROAD; TRACT 33, LESS THE RIGHT-OF-WAY FOR SAID LYONS ROAD; TRACTS 34 THRU 47, INCLUSIVE; TRACT 49, LESS THE RIGHT-OF-WAY FOR LAKE WORTH DRAINAGE DISTRICT E-1 CANAL; TRACTS 50 THRU 64, LESS THE RIGHT-OF-WAY FOR SAID LYONS ROAD, ALL LYING IN BLOCK 70, OF PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 45 THRU 54, INCLUSIVE, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, TOGETHER WITH THAT PORTION OF THE ROAD RIGHTS-OF-WAY AS DESCRIBED IN QUIT-CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 9343, PAGE 73, AND AS SHOWN ON THE SAID PLAT OF THE PALM BEACH FARMS CO. PLAT NO. 3 AS CONTAINED WITHIN THE ABOVE DESCRIBED PARCEL, LESS THE RIGHTS-OF-WAY FOR LAKE WORTH DRAINAGE DISTRICT CANALS AS DESCRIBED HEREIN AND LESS THE RIGHT-OF-WAY FOR SAID LYONS ROAD; TRACTS 16, 17 AND 48, LESS THE RIGHT-OF-WAY FOR LAKE WORTH DRAINAGE DISTRICT CANAL E-1, LESS AND EXCEPT ANY PORTION THEREOF LYING WITHIN THE RIGHT OF WAY OF U.S. 441, ALL BEING IN BLOCK 70, THE PALM BEACH FARMS CO. PLAT NO. 3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGES 45 THRU 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

LESS AND EXCEPT, THE FOLLOWING DESCRIBED PARCEL OF LAND:

Tract "RW" of HYDER AGR-PUD SOUTH PLAT ONE, according to the Plat thereof, as recorded in Plat Book 126, at Page 63 of the Public Records of Palm Beach County, Florida, also known as:

A PORTION OF TRACTS 32 AND 33 AND THE ADJOINING ROAD, DYKE AND DITCH RESERVATION, ALL WITHIN BLOCK 70, PALM BEACH FARMS COMPANY PLAT NO. 3, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGES 45 THROUGH 54, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF TRACT 64, BLOCK 70, SAID PALM BEACH FARMS COMPANY PLAT NO. 3 AND THE WEST RIGHT-OF-WAY LINE OF LYONS ROAD ACCORDING TO OFFICIAL RECORDS BOOK, 12226, PAGE 1899, SAID PUBLIC RECORDS; THENCE NORTH 00°27'56" WEST ALONG SAID WEST RIGHT-OF-WAY LINE, A DISTANCE OF 1048.57 FEET TO A POINT OF CURVATURE OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 2245.00 FEET AND A CENTRAL ANGLE OF 05°43'06"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, AN ARC DISTANCE OF 224.06 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE ALONG THE PREVIOUSLY DESCRIBED CURVE, CONCAVE WESTERLY, HAVING A RADIUS OF 2245.00 FEET AND A CENTRAL ANGLE OF 13°09'10"; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE AND SAID WEST RIGHT-OF-WAY LINE, AN ARC DISTANCE OF 515.36 TO A POINT OF NON-TANGENT INTERSECTION; THENCE SOUTH 05°14'06" EAST, A DISTANCE OF 51.55 FEET TO A POINT OF NON-RADIAL INTERSECTION WITH A CURVE CONCAVE WESTERLY, FROM WHICH A RADIAL LINE

BEARS SOUTH $71^{\circ}56'46''$ WEST, HAVING A RADIUS OF 2233.00 FEET AND A CENTRAL ANGLE OF $11^{\circ}34'20''$; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE, AN ARC LENGTH OF 451.00 TO A POINT OF NON-TANGENT INTERSECTION; THENCE SOUTH $52^{\circ}13'25''$ EAST, A DISTANCE OF 16.71 FEET TO THE POINT OF BEGINNING.

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

**DISTRICT FOUR (4) AMENDMENT NUMBER TWO (2) TO STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION LANDSCAPE
MEMORANDUM OF AGREEMENT**

THIS AMENDMENT Number Two (2) to the Agreement dated December 1, 2017, made and entered into this _____ day of _____ 20____ by and between the State of Florida Department of Transportation hereinafter called the DEPARTMENT and the PALM BEACH COUNTY, a political subdivision of the State of Florida, hereinafter called the AGENCY.

W I T N E S S E T H

WHEREAS, the parties entered into the Landscape Maintenance of Agreement dated, December 1, 2017 (LMOA) as amended on June 21, 2019 for the purpose of maintaining the landscape improvements by the AGENCY on State Road 7 (US 441); and,

WHEREAS, the DEPARTMENT and the AGENCY have agreed to increase the limits of the landscape maintenance and to add additional landscape to be installed on State Road 7 (US 441) and,

WHEREAS, Landscape Improvements will be added in accordance with Permit Number 2018-L-496-012 for Hyder South AKA Boca Bridges; and,

WHEREAS, the AGENCY by Resolution No. _____ dated _____, attached hereto and by this reference made a part hereof, desires to enter into this Amendment and authorized its officers to do so; and,

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to paragraph 7 of the LMOA, the DEPARTMENT will allow an adjacent property owner to construct landscape improvements or to modify an improvement located as indicated in Exhibit "A", State Road 7 (US 441) from L-39 Canal (M.P.6.076) to L-38 Canal (M.P.6.624) [Hyder South AKA Boca Bridges], in accordance with the plans attached in Exhibit "B".
2. The AGENCY shall agree to maintain the additional landscape improvements in the LMOA in accordance with the Maintenance Plan, Exhibit "C" of the LMOA.

EXHIBIT B

Page 2 of 16

Except as modified by this Amendment, all terms and conditions of the LMOA and all Amendments thereto shall remain in full force and effect.

LIST OF EXHIBITS

- Exhibit A - Landscape Improvements Limits and Maintenance Boundaries and Location Map
- Exhibit B - Landscape Improvement Plans

EXHIBIT B
Page 3 of 16

In Witness whereof, the parties hereto have executed with this Amendment effective the ____ day _____ year written and approved.

PALM BEACH COUNTY, A POLITICAL
SUBDIVISION OF THE STATE OF FLORIDA
BOARD OF COUNTY COMMISSIONERS

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: _____
TITLE: MAYOR

By: _____
Transportation Development Director

DATE: _____

Attest: _____ (SEAL)
Executive Secretary

APPROVED AS TO FORM AND
LEGAL SUFFICIENCY

BY: YBH

COUNTY ATTORNEY

Legal Review Date

Office of the General Counsel

Attest:
SHARON R. BOCK

CLERK & COMPTROLLER (SEAL)

APPROVED AS TO TERMS AND
CONDITIONS:

By:  _____

EXHIBIT B
Page 4 of 16

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

EXHIBIT A

LANDSCAPE IMPROVEMENTS PROJECT LIMITS

MAINTENANCE BOUNDARIES LIMITS AND LOCATION MAP

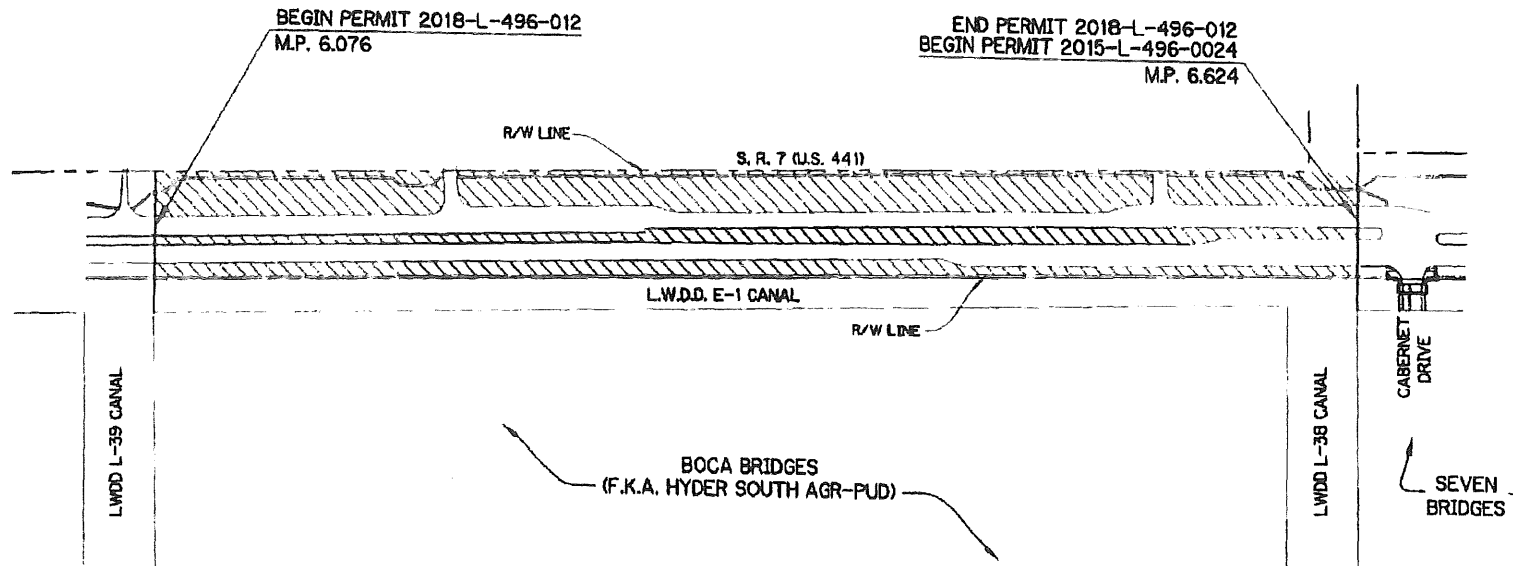
- I. **PERMIT PROJECT LIMITS:**
Permit No. 2018-L-496-012
State Road 7 (US 441) from M.P. 6.076 to M.P. 6.624

- II. **COMPREHENSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS ON STATE ROAD 7:**
State Road 7 (US 441) from M.P. 6.076 to M.P. 8.531

- III. **MAINTENANCE BOUNDARY LIMITS MAP:**

Please See Attached

LANDSCAPE IMPROVEMENTS MAINTENANCE BOUNDARY MAP
PALM BEACH COUNTY
PERMIT NO. 2018-L-496-012



LEGEND:


 LIMITS OF MAINTENANCE BY PALM BEACH COUNTY

EXHIBIT B

Page 6 of 16

SECTION No.(s): 93210
S.R. No.(s): 7
PERMIT No(s): 2018-L-496-012
COUNTY: PALM BEACH

EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

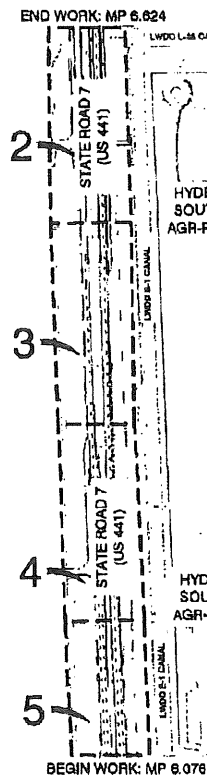
The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by:

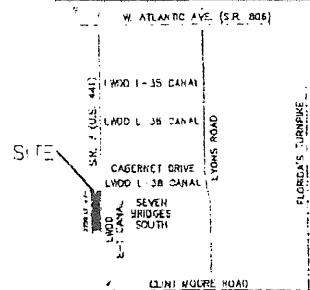
Permit No. 2018-L-012
Kerneth M. DiDonato, P.E.
KD Consulting Engineer
August 14, 2019
Sheets IR 1 – 5

Andrew Overmeyer, RLA
Parker-Yannette design group, inc.
September 23, 2018
Sheets L 1 - 5

Sheet Key



Location Map



Hyder South AGR-PUD

by Lyons Road V, LLC

Palm Beach County, Florida

U.S. Hwy. 441 (S.R. 7) Median Irrigation Plan

GENERAL NOTES - SPECIFICATIONS

HYDRATE PUMP SHALL BE INSTALLED IN THE HYDRANT LINE TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT THE HYDRANT. THE PUMP SHALL BE INSTALLED IN THE HYDRANT LINE TO MAINTAIN A MINIMUM PRESSURE OF 20 PSI AT THE HYDRANT.

ALL MATERIALS AND CONSTRUCTION SHALL BE SUBJECT TO INSPECTION BY THE COUNTY ENGINEER. THE COUNTY ENGINEER SHALL BE ADVISED AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

ALL DIMENSIONS OF DITCHES SHALL BE TO THE BOTTOM OF THE DITCH UNLESS OTHERWISE NOTED. THE DITCHES SHALL BE 18" DEEP AND 18" WIDE AT THE BOTTOM. THE SIDES SHALL BE BATTERED AT A 1:1 RATIO.

ALL DIMENSIONS OF PIPES SHALL BE TO THE EXTERIOR UNLESS OTHERWISE NOTED. THE PIPES SHALL BE 12" DIA. WITH A WALL THICKNESS OF 0.25".

ALL DIMENSIONS OF VALVES SHALL BE TO THE CENTERLINE UNLESS OTHERWISE NOTED. THE VALVES SHALL BE 12" DIA. WITH A WALL THICKNESS OF 0.25".

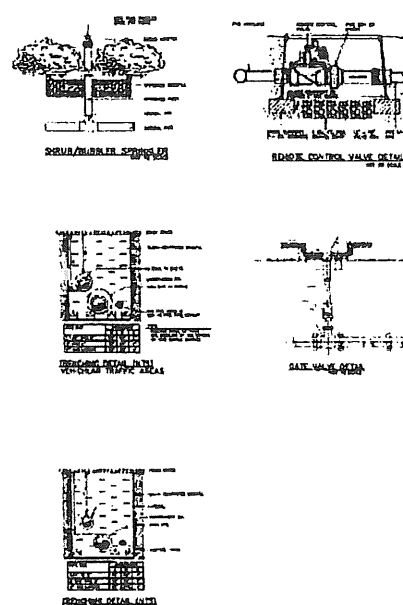
ALL DIMENSIONS OF BOLLARDS SHALL BE TO THE TOP UNLESS OTHERWISE NOTED. THE BOLLARDS SHALL BE 12" DIA. WITH A WALL THICKNESS OF 0.25".

ALL DIMENSIONS OF SIGNAGE SHALL BE TO THE FACE UNLESS OTHERWISE NOTED. THE SIGNAGE SHALL BE 18" WIDE BY 24" HIGH.

ALL DIMENSIONS OF CURBS SHALL BE TO THE TOP UNLESS OTHERWISE NOTED. THE CURBS SHALL BE 18" HIGH BY 12" WIDE.

ALL DIMENSIONS OF CHANNELS SHALL BE TO THE BOTTOM UNLESS OTHERWISE NOTED. THE CHANNELS SHALL BE 18" WIDE BY 18" DEEP AT THE BOTTOM.

ALL DIMENSIONS OF GROUNTS SHALL BE TO THE SURFACE UNLESS OTHERWISE NOTED. THE GROUNTS SHALL BE 18" WIDE BY 18" DEEP AT THE SURFACE.



Sheet Index

- IR-1 Cover Sheet - Key Map, Location Map, Sheet Index
- IR-2 441 Median Irrigation Plan
- IR-3 441 Median Irrigation Plan
- IR-4 441 Median Irrigation Plan
- IR-5 441 Median Irrigation Plan

FOOT CANNON NOTES

The irrigation system shall use the lowest quality water available which complies with the water quality requirements of the Florida Department of Health. The water shall be treated to meet the requirements of the Florida Department of Health.

1. The irrigation system shall be designed and constructed in accordance with the Florida Department of Health's requirements for public water supply systems.

2. The irrigation system shall be designed and constructed in accordance with the Florida Department of Health's requirements for public water supply systems.

3. The irrigation system shall be designed and constructed in accordance with the Florida Department of Health's requirements for public water supply systems.

4. The irrigation system shall be designed and constructed in accordance with the Florida Department of Health's requirements for public water supply systems.

5. The irrigation system shall be designed and constructed in accordance with the Florida Department of Health's requirements for public water supply systems.

Kenneth DiDonato, P.E.
CONSULTING ENGINEER
OFFICE: 1015 N. US HWY 1, SUITE 100
WEST PALM BEACH, FL 33411
TEL: 561-840-1000
FAX: 561-840-1001

KD

PROJECT TITLE: HYDER SOUTH AGR-PUD
- 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
IRRIGATION PLAN - COVER SHEET

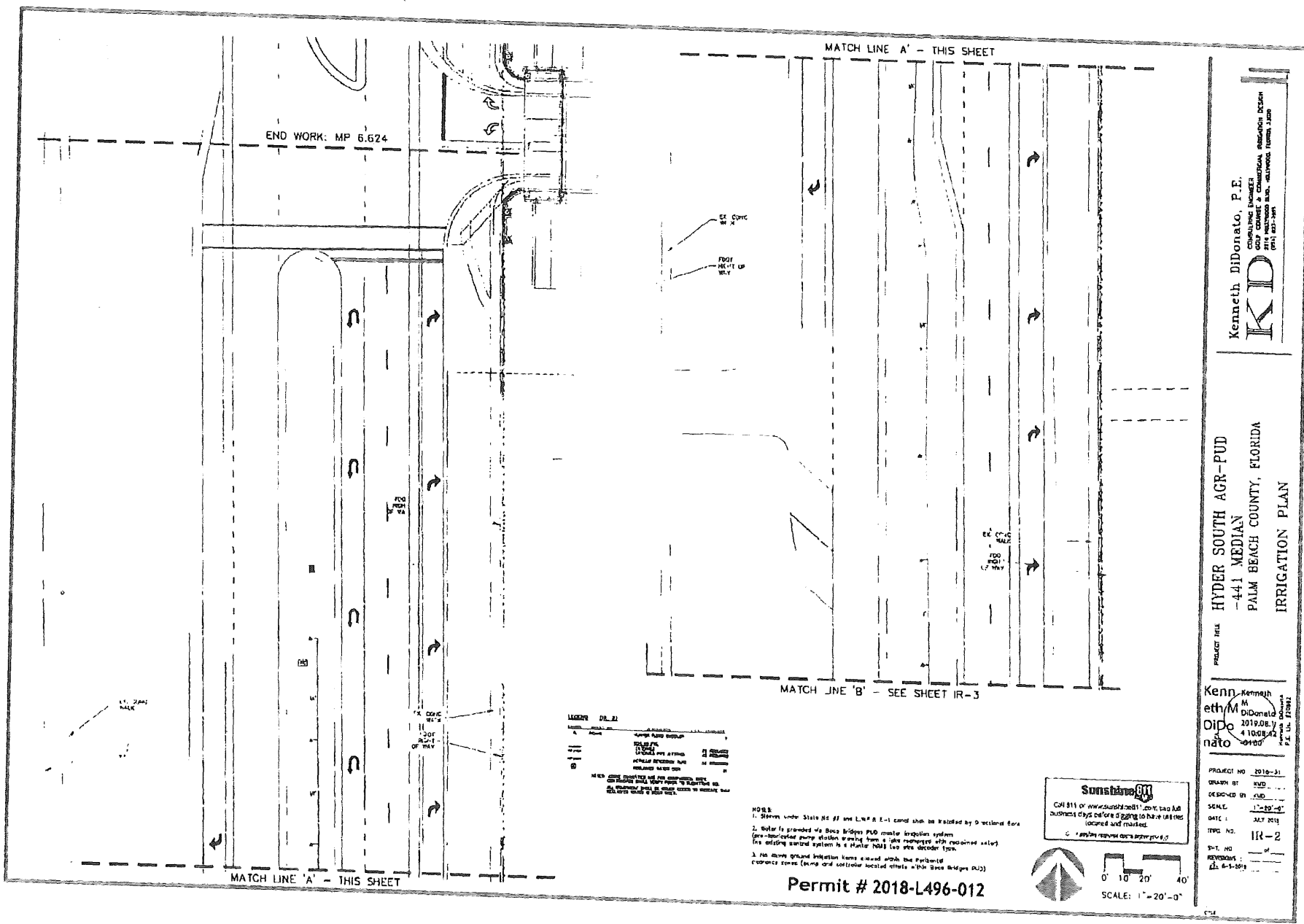
Kenneth DiDonato, P.E.
Professional Seal
No. 2015008
Exp. 11/30/18
P.E. STATE OF FLORIDA

PROJECT NO.: 2018-01
DRAWN BY: JSD
DESIGNED BY: JSD
SCALE: H.C.S.
DATE: 01/21/18
SHEET NO.: IR-1
SHEET TOTAL: 5

Sunshine
Call Bill or www.sunshine11.com two bus. hours before calling to have utilities located and marked.
Check us out at www.sunshine11.com

Permit # 2018-L496-012

EXHIBIT B
Page 7 of 16



Kenneth M. Didonato, P.E.
 CONSULTING ENGINEER
 ONLY CONSULT & CONTRACTUAL RESOURCES DESIGN
 10111 SW 10th St., Suite 200
 Miami, FL 33156

PROJECT TITLE: **HYDER SOUTH AGR-PUD**
-441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
IRRIGATION PLAN

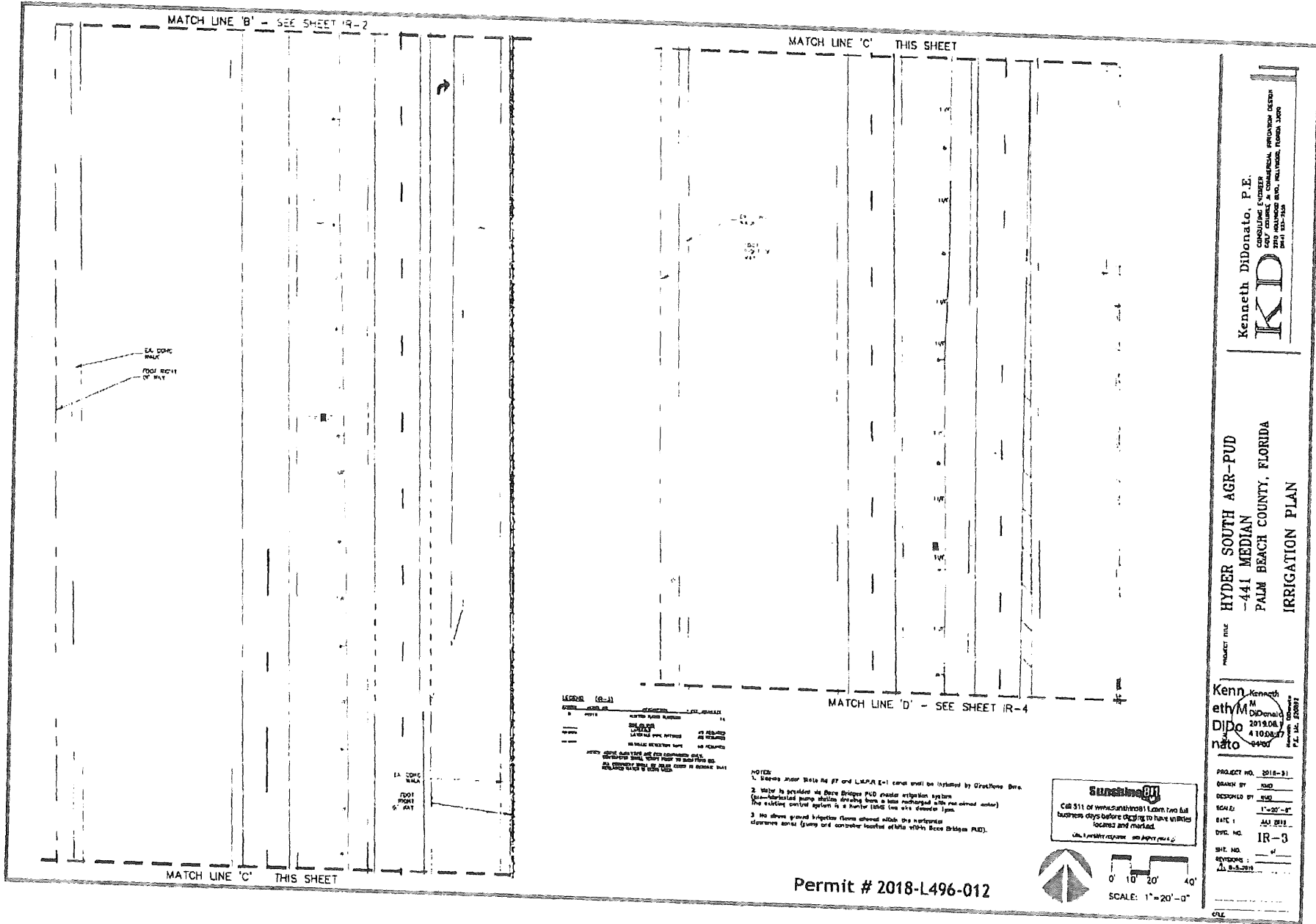
PROJECT NO: 2018-31
 DRAWN BY: PUD
 DESIGNED BY: PUD
 SCALE: 1" = 20'-0"
 DATE: JUL 2018
 ITRC NO: IR-2
 SHEET NO: 8 of 10
 REVISIONS:

Sunshine
 Call 811 or www.sunshine11.com for all
 utility work before digging to have utilities
 located and marked.
 © Sunshine Systems, Inc. 2018

Permit # 2018-L496-012

SCALE: 1" = 20'-0"
 0' 10' 20' 40'

- NOTES:**
1. Steves under State HS 27 are LHM R E-1 canal that is installed by 0 western flow.
 2. Solar is provided by Boca Raton PUD solar irrigation system. (see irrigation pump station drawing from a job reference with required solar) for existing irrigation system to a Master Node (see site decoder type).
 3. No more ground irrigation lines allowed within the Parkland drainage cover (along and collector located streets - this Boca Raton PUD).



MATCH LINE 'B' - SEE SHEET IR-2

MATCH LINE 'C' THIS SHEET

MATCH LINE 'D' - SEE SHEET IR-4

MATCH LINE 'C' THIS SHEET

LEGEND (SEE)

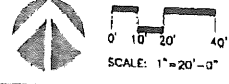
---	EXISTING CANAL	---	EXISTING FURROW
---	NEW CANAL	---	NEW FURROW
---	PROPOSED CANAL	---	PROPOSED FURROW
---	PROPOSED CANAL	---	PROPOSED FURROW

- NOTES:
1. Existing canal data for FF and LAMP E-1 canal shall be retained by Onyiahora Bore.
 2. Water to be used in Onyiahora PUD master irrigation system (non-scheduled pump station serving from a non-municipal water source) The existing control system is a Hunter (2015) low site control system.
 3. No above ground irrigation flows allowed within the watershed (Onyiahora Bore, Onyiahora Bore, Onyiahora Bore, Onyiahora Bore, Onyiahora Bore).

Supershield

Call 311 of www.sunshine11.com two full business days before digging to have utilities located and marked.

CALL BEFORE YOU DIG



Permit # 2018-L496-012

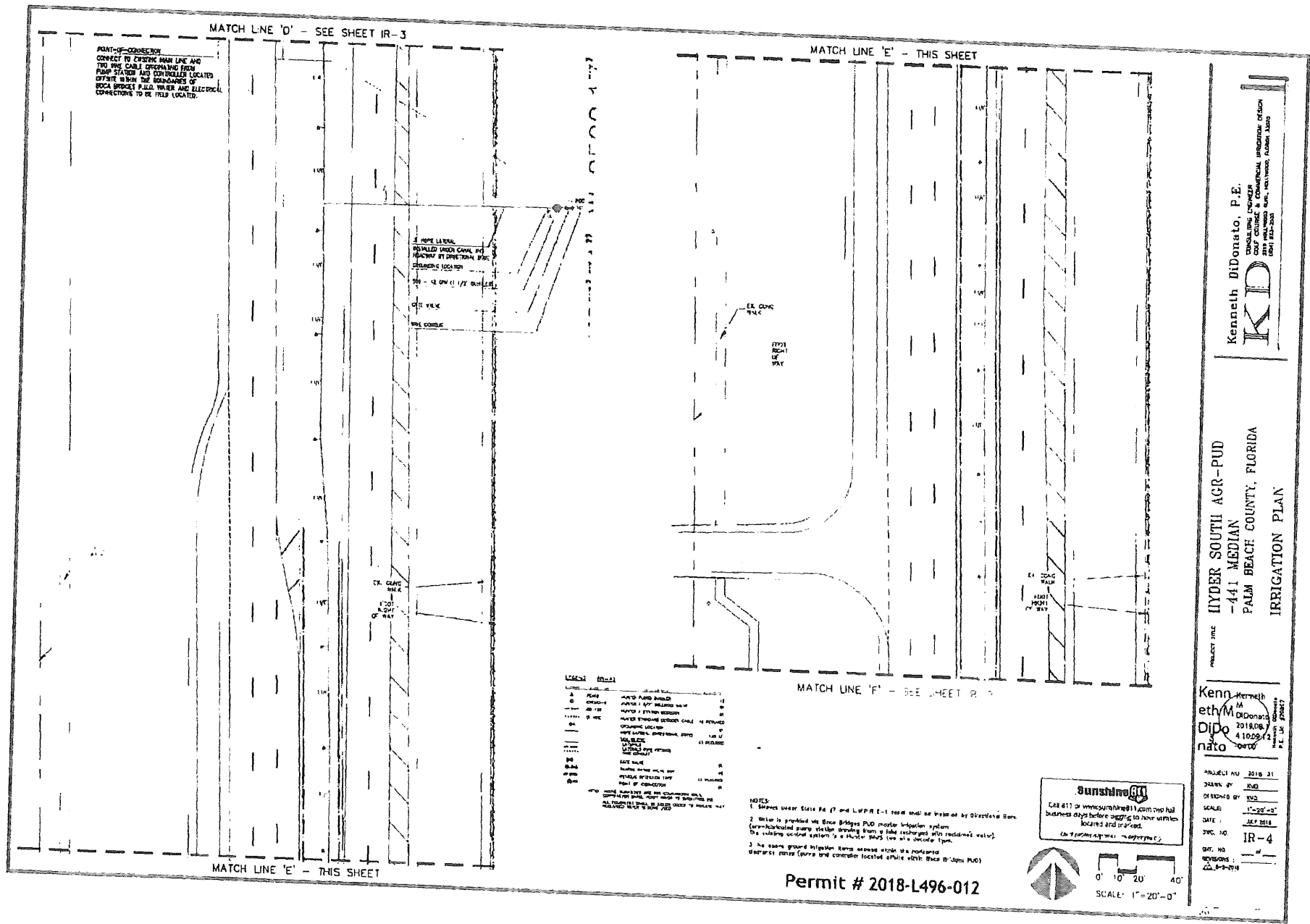
Kenneth D'Donato, P.E.
 CREATING CLARITY
 THROUGH TECHNICAL SKILL
 AND COMMERCIAL INTEGRITY
 2015 LICENSE NO. 12174
 2018 LICENSE NO. 12174

KDD

PROJECT TITLE: HYDER SOUTH AGR-PUD
 -441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN

PROJECT NO. 2018-31
 DRAWN BY: KDD
 DESIGNED BY: KDD
 SCALE: 1"=20'-0"
 DATE: JUL 2018
 DWT. NO. IR-3
 SHE. NO. 1
 REVISIONS: 1
 1. 5.5.2018

Kenneth M. D'Donato
 2018.08.10
 4102827
 4499
 P.E. No. 12174



POINT-OF-CONNECTION
CONNECT TO EXISTING MAIN LINE AND
TWO 12" DIA. CEMENT PIPE FROM
PUMP STATION AND CONTROLLED LOCATED
SEPARATE WITHIN THE BOUNDARIES OF
SOCA BRIDGE P.U.D. WATER AND ELECTRICAL
CONNECTORS TO BE FIELD LOCATED.

24" PIPE LATERAL
INSTALL 12" DIA. CANAL AND
MACHINE AT DIRECTIONAL POINT
ELEVATION 100.00 FT
12" - 12" DIA. (1/2" WALL THICK)
OF PIPE
12" CONC.

12" DIA. (1/2" WALL THICK)
OF PIPE
12" CONC.

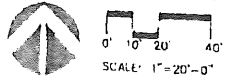
EX. CONC. PIPE
12" DIA. (1/2" WALL THICK)
OF PIPE
12" CONC.

NO.	DESCRIPTION	QUANTITY	UNIT
1	24" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
2	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
3	12" CONC.	1	LINEAL FOOT
4	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
5	12" CONC.	1	LINEAL FOOT
6	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
7	12" CONC.	1	LINEAL FOOT
8	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
9	12" CONC.	1	LINEAL FOOT
10	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
11	12" CONC.	1	LINEAL FOOT
12	12" DIA. (1/2" WALL THICK) OF PIPE	1	LINEAL FOOT
13	12" CONC.	1	LINEAL FOOT

NOTES:
1. Review under State Rd #7 and LWRP E-1 items shall be treated as by Ordinance 2018-10.
2. Water is provided to Socca Bridge PUD under irrigation system (pre-installed pump station drawing from a lake recharged with treated water). The existing irrigation system is a Hunter PUD (see site location map).
3. An open ground irrigation system is provided (see site location map) at a proposed distance of 100 feet and concrete located above the Socca PUD.

Permit # 2018-L496-012

Sunshine
Call 817 or www.sunshine1.com for full
business days before adding to your website
located and ir-102.
Do not copy or reuse without permission.



PROJECT TITLE: **HYDER SOUTH AGR-PUD
-441 MEDIUM
PALM BEACH COUNTY, FLORIDA
IRRIGATION PLAN**

DESIGNED BY: **ETH M. DONATO**

SCALE: **1"=20'-0"**

DATE: **10/22/2018**

PROJECT NO: **IR-4**

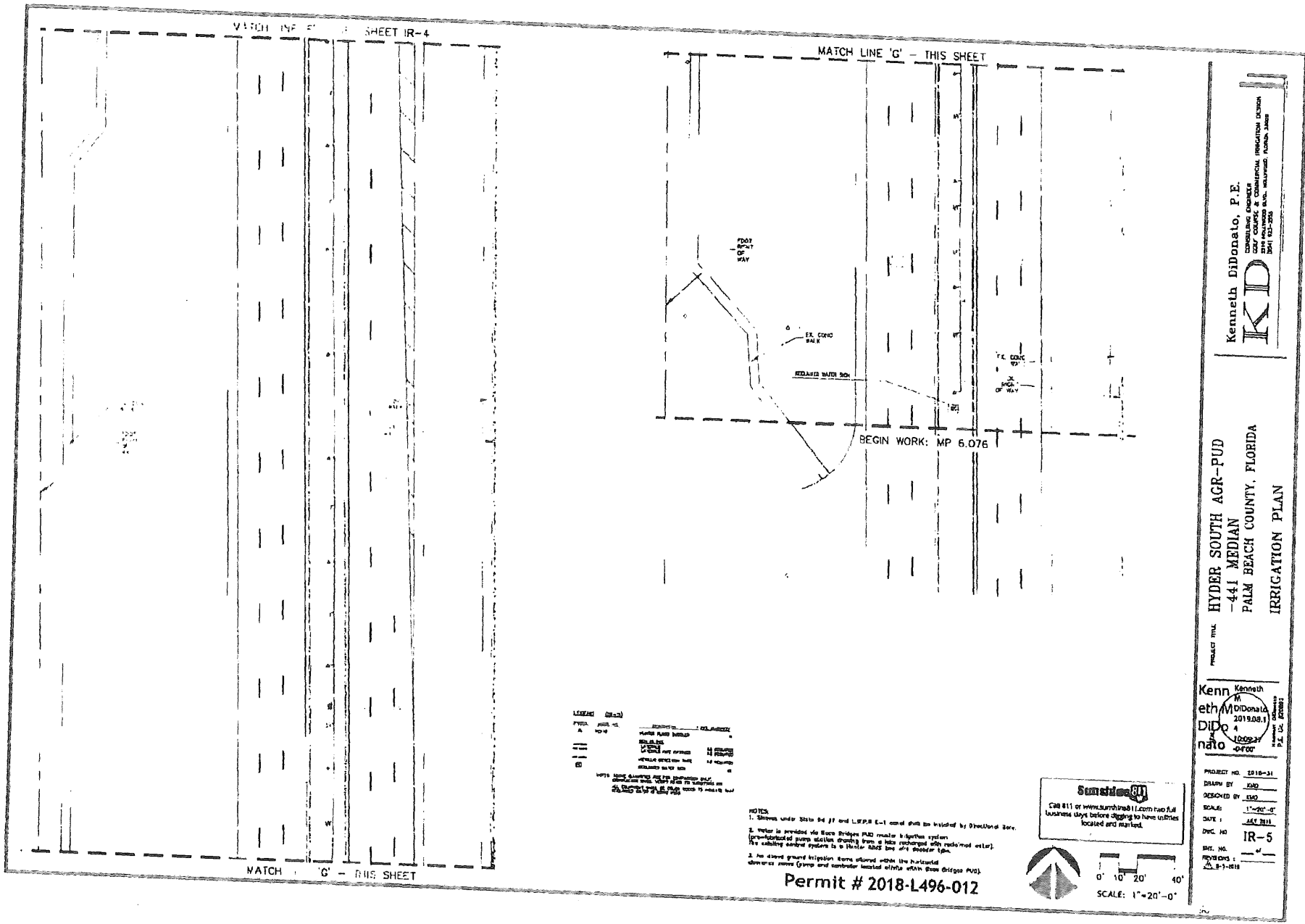
SHEET NO: **1**

REVISIONS: **0**

PROJECT NO: 2018-31
DESIGNED BY: ETH M. DONATO
SCALE: 1"=20'-0"
DATE: 10/22/2018
PROJECT NO: IR-4
SHEET NO: 1
REVISIONS: 0

Kenneth M. Donato, P.E.
REGISTERED PROFESSIONAL ENGINEER
FLORIDA LICENSE NO. 42861
P.E. STATE OF FLORIDA

KD
Kenneth M. Donato, P.E.
ENGINEERING ENGINEER
OFFICE & COMMERCIAL IRRIGATION DESIGN
2018 10/22/2018 (P) 817-212-2000



Kenneth Didonato, P.E.
 CONSULTING ENGINEER
 CIVIL ENGINEER & CONSULTANT, IRRIGATION SECTION
 2018-2019
 2017-2018
 2016-2017
KDD

PROJECT TITLE
**HYDER SOUTH AGR-PUD
 -441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 IRRIGATION PLAN**

Kenneth Didonato
 20180811
 100004
 -0700
 P.E. No. 20000

PROJECT NO. 2218-24
 DRAWN BY: ESD
 DESIGNED BY: ESD
 SCALE: 1"=20'-0"
 DATE: MAY 2018
 DWG. NO. IR-5
 SHEET NO. 1 OF 1
 REVISIONS:
 1 8-1-2018

NO.	DESCRIPTION	DATE
1	REVISION	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	

- NOTES:
1. Showers under State Rd 77 and LUPR E-1 road shall be installed by Oronovals Ave.
 2. Water is provided via Stone Bridges PUD master irrigation system. (pre-installed pump station drawing from a later recharged with rock/mulch water). The existing control system is a Hunter-IBS (see site location map).
 3. An above ground irrigation system should be installed (see Stone Bridges PUD) drawings name (pump and controller located at the Stone Bridges PUD).

Permit # 2018-L496-012

Survey
 Call 811 or www.call811.com two full business days before digging to have utilities located and marked.

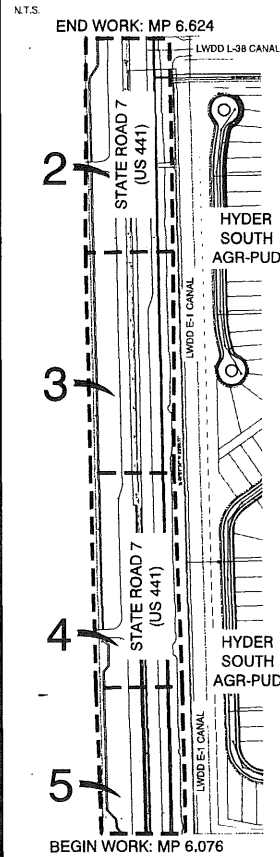
SCALE: 1"=20'-0"

Hyder South AGR-PUD

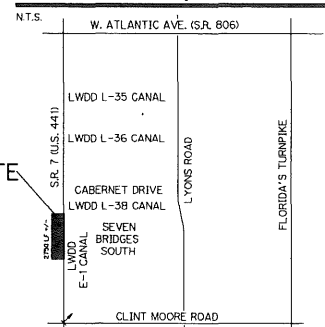
by Lyons Road V, LLC
Palm Beach County, Florida

U.S. Hwy. 441 (S.R. 7) Median Landscape Plan

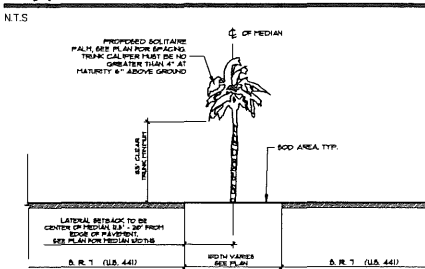
Sheet Key



Location Map



Typical Median Cross Section



Sheet Index

- L-1 Cover Sheet - Key Map, Location Map, Sheet Index, Plant List
- L-2 441 Median Landscape Plan
- L-3 441 Median Landscape Plan
- L-4 441 Median Landscape Plan
- L-5 441 Median Landscape Plan

Plant List (Overall)

Plant List (Seven Bridges South)

SYM.	QTY.	NAME	SPECIFICATIONS
PE	35	Phytolacca elegans / Alexander Palm	8" - 12" single stem, trunk caliper shall be no more than 4" at maturity 8" above ground, full Florida #
BOO		Paspalum notatum 'Argentan' / Bahua Grass	staggered, seed free, late light

NOTE: ALL PLANT MATERIAL SHALL MEET OR EXCEED SIZE AND CONTAINER SPECIFICATIONS IN PLANT LIST. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY DATES WITH OWNER PRIOR TO COMMENCING WORK.

**** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY SEE SHEETS L2 THRU L 4**

**** DESIGN SPEED AND POSTED SPEED = 45 MPH IN 6 LANE DIVIDED HIGHWAY SEE SHEET L5**

Notes:

- MOT will be required for work within FDOT Right of Way. Refer to appropriate MOT Standard Plans Index.
- MOT within FDOT Right of Way will require a K Permit.
- All materials and construction within the Florida Department of Transportation Design (FDOT) right-of-way shall conform to the latest version of FDOT Standard Plans for Road and Bridge Construction and latest version of the Standard Specifications for Road and Bridge Construction.
- All maintenance of traffic (MOT) for this project will be in compliance with the Department's current edition of the FDOT Standard Plans for Road and Bridge Construction Index, (102-600 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD). The Operations Engineer or his designee reserves the right to direct the removal/relocation/modification of any traffic devices in the permittee's site exposure. Special attention will be given to indices 102-611, 102-612, 102-613, and 102-600.
- Permittee will provide the necessary densities in accordance with Section 125-8 of the FDOT Standard Specifications for Road & Bridge Construction (latest edition) prior to final acceptance by the FDOT.
- Traffic Control shall be in accordance with the project plan, the current edition of the Florida Department of Transportation Design Standards (600 series) and the latest edition of the Manual on Uniform Traffic Control Devices (MUTCD).
- It is the Permittee's responsibility to obtain final acceptance of permitted work (completed) and the restoration of the Right-of-Way from the Department prior to use.
- Permittee will restore the Right of Way as a minimum, to its original condition or better in accordance with Florida Department of Transportation "Plan of Standard Specifications for Road & Bridge Construction or as directed by the Resident Operations Engineer.
- Restricted hours of operation for lane closures will be from 9:00am to 4:00 pm (Monday-Friday), unless otherwise approved by the Operations Engineer or designee. MOT shall be posted up to 4:00 pm and set back by 9:00 am.
- Permittee will coordinate (Pre-Construction) meeting, inspection, final acceptance of work, and all permitted work with Route Event 561-576-1139 or email route.event@dot.state.fl.us 48 hours prior to construction.
- The installation of all new landscape materials will be in accordance with current editions of the Standard Indices (horizontal clearance/clear zone requirements).
- PERMIT IS VALID FOR ONE YEAR FROM DATE OF ISSUE.
- Permittee will provide the Department with certified "AS-Built" plans prior to final acceptance of the permitted work.
- Landscape installation shall comply with current FDOT Standard Specification Section 380-001.
- Contractor to verify all underground utilities prior to commencing work.

FDOT General Notes:

- GOVERNING STANDARD PLANS: Florida Department of Transportation, Standard Plans for Road and Bridge Construction (latest version) and applicable Interim Revisions (IRs).
- GOVERNING STANDARD SPECIFICATIONS: Florida Department of Transportation, Standard Specifications for Road and Bridge Construction (latest version).
- Contractor shall repair all damage done to FDOT property during demolition, relocation &/or installation activities at his sole expense.
- Oversight of all suitable excavated materials, as determined by the Department, shall remain in the Department until final acceptance of the permitted project is fulfilled. Excavated materials shall be hauled by the Permittee, at their cost, to a site in the Palm Beach Operations Center or accepted in those areas as directed by the Department, including asphalt millings.

FDOT Planting Notes:

- For the portion of landscape plant material that will be installed within the FDOT Right of Way, landscape installation shall comply with current FDOT Maintenance Specifications 380-2.1. Online Reference: <http://www.fdot.com/specifications/online/Maintenance/2018/380-2.1.htm>
- For the portion of landscape plant material that will be installed within the FDOT Right of Way, refer to FDOT Standard Plans Index 380-001 Landscape Installation. Online Reference: <http://www.fdot.com/specifications/online/StandardPlans/2018/380-001.htm>
- Cypress Mulch is not permitted on FDOT right of way. Mulch permitted to be used are Hardwood Mulch (containing no Cypress products), Recycled Mulch or approved equal, certified by the Mulch and Soil Council (MASC). Submit proof of certification to the FDOT District Operations Permit Landscape Inspection upon inspection.
- Soaked areas will be in accordance with Design Standard Index 105 and Standard Specifications Sections 102-378, 102-391, 102-392, 102-393, 102-394 of the Department's latest edition of Governing Design Standards and Standard Specifications. All disturbed areas will be soaked within one (1) week of installation of said permitted work.

Palm Tree Planting Detail

- Landscape installation shall comply with current FDOT Standard Index 580-001 details

Plant Specifications

SPECIES AND SIZE shall conform to those indicated on the drawings. Nomenclature shall conform to STANDARDIZED PLANT NAMES, current edition. All nursery stock shall be in accordance with Grades and Standards for Nursery Plants Parts I, II, latest edition published by the Florida Department of Agriculture and Consumer Services. All plants not otherwise specified as being Florida Potted or Specimen, shall be Florida Grade Number 1 or better as determined by the Florida Division of Plant Industry. Specimen means an exceptionally heavy, symmetrical, lightly built plant, so trained or favored in its development that final appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

GENERAL REQUIREMENTS
All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvae, and shall have adequate root systems. Trees for planting shall be uniform in size and shape. All materials shall be subject to approval by the Landscape Architect. Where any requirements are omitted from the list, the plants furnished shall be equal to the variety. Plants shall be pruned prior to delivery only upon the approval of the Landscape Architect.

CONTAINER GROWN STOCK
All container grown material shall be healthy, vigorous, well rooted plants, and established in the container in which they are sold. The plants shall have tops which are good quality and in a healthy growing condition. An established container grown plant shall be grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold together when removed from the container. Plant root bound in containers are unacceptable.

MEASUREMENTS
Tree: Height shall be measured from ground to the average height of canopy. Spread shall be measured to the end of branching equally from the center of trunk. Measurements are not to include any terminal growth. Single trunk shall be free of 1/2" diameter or larger dead wood points of weak limb structure or disease infestation.
Shrub: Height shall be measured from the ground to the average points where mature plant growth stops. Spread shall be measured to the end of branching equally around the shrub mass. Measurements are not to include any terminal growth.
Palm: Clear trunk (CT) shall be measured from the ground at the line of installation to the point where the mature aged trunk joins the immature or green portion of the trunk or the head. Overall height (OH) shall be measured from the ground at the line of installation to a point three quarters the length of the unpruned frond. Palm with trained or banded trunk all not be accepted.

SOIL
Planting soil for use in preparing backfill for plant pits shall be added at a rate of seventy-five (75%) percent to twenty-five (25%) percent existing soil. This soil mix shall be used in all plant pits except ball pits which shall be backfilled with clean sand. Planting soil shall be a fertile, friable natural topsoil or loamy character. It shall contain only (40) to fifty (50) percent decomposed organic matter and shall be free from heavy clay, stones, lime, plants, roots or other foreign materials or noxious grasses such as Bermuda or nut grass and noxious weeds. It shall not contain toxic substances which may be harmful to plant growth.

COMMERCIAL FERTILIZER
Two fertilizer shall be used in all types of plantings, except palms. Granular fertilizer shall be uniform in composition, dry and free flowing. The fertilizer shall be delivered to the site in the original unopened bags, each bearing the Manufacturer's statement of analysis and shall meet the following requirements: sixteen (16%) percent nitrogen, seven (7%) percent phosphorus, twelve (12%) percent potassium, plus iron. Tablet fertilizer (Magform or equal) in 21 gram size shall meet the following requirements: twenty (20%) percent nitrogen, ten (10%) percent phosphorus, five (5%) percent potassium.

The two fertilizers will be applied at the following rates:
PLANT SIZE M-1-0 "AGROFORM" TABLET (2 Grams)
1'-4" caliper 2 lbs/1' caliper 27' caliper

Florida East Coast Palm Special will be applied to all palms at installation at a rate of 1/2 lb per inch of trunk caliper unless otherwise specified.

FLCH
Cypress mulch is not permitted on FDOT Right of Way. Mulch material shall be three (3) inches of hardwood mulch (containing no Cypress products), recycled mulch or approved equal, certified by the Mulch and Soil Council (MASC). Submit proof of certification to the FDOT District Operations Permit Landscape Inspection upon inspection.

SUBSTITUTIONS
No substitutions of plant material (type or size) will be allowed without written consent of the Landscape Architect. BFB material will not be accepted as substitute for container grown material unless previously approved. Alternate substitutions shall be indicated in bid.



LANDSCAPE ARCHITECTURE
PLANNING & GRAPHICS
225 South U.S. Highway One
Suite 130
Jupiter, Florida 33477
Telephone: (561) 747-5069
Fax: (561) 747-2041
Email: mall@pyd.com
License #LC-9000297

HYDER SOUTH AGR-PUD - 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
DEVELOPER: LYONS ROAD V, LLC
COVER SHEET

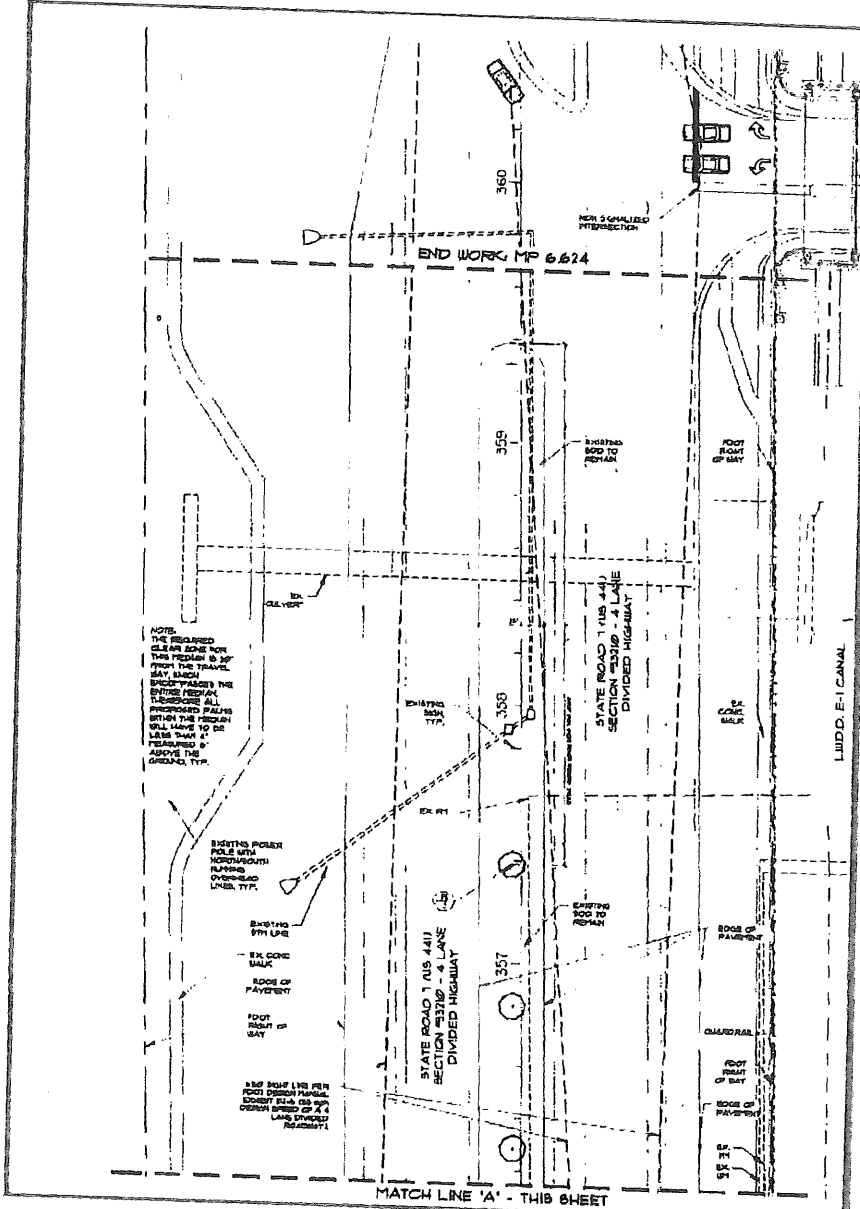
DATE: 04/28
DRAWN BY: AJC/ADP
JOB NO.: 18-104
SCALE: 1/8"=1'-0"
FILE NAME: 688-441 P 06

REVISIONS:
02/28 FDOT Comments
03/29 Update to remain
13/20 FDOT notes

Digitally signed by Andrew Overmyer
Date: 2020.03.29 08:51:58 -0500

SHEET: 11

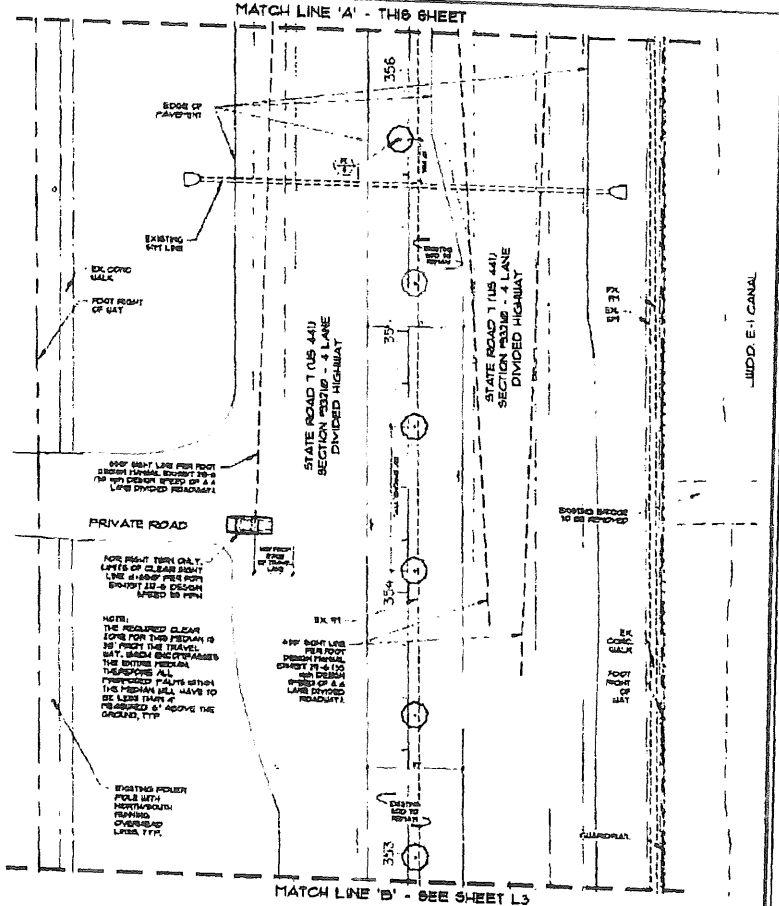
Permit # 2018-L496-012



NOTE:
 THE REQUIRED CLEARANCE FOR THIS MEDIAN IS TO BE FROM THE TRAVEL, SIDEWALK, SHOULDER AND ALL PREPROPOSED PALMS WITHIN THE MEDIAN SHALL HAVE TO BE LESS THAN 4' MEASURED 6' ABOVE THE GROUND, TYP.

EXISTING POWER POLES WITH NEIGHBORHOOD RUMBLE OVERHEAD LINES, TYP.
 EXISTING 8TH LANE
 EX CONC WALK
 EDGE OF PAVEMENT
 FOOT RIGHT OF WAY

150' RIGHT LANE PER FOOT DESIGN PALMS, COUNTY ROAD 63336, DESIGN SPEED OF 4 LANE DIVIDED ROADWAY.



NOTE:
 THE REQUIRED CLEARANCE FOR THIS MEDIAN IS FROM THE TRAVEL, SIDEWALK, SHOULDER AND ALL PREPROPOSED PALMS WITHIN THE MEDIAN SHALL HAVE TO BE LESS THAN 4' MEASURED 6' ABOVE THE GROUND, TYP.

EXISTING POWER POLES WITH NEIGHBORHOOD RUMBLE OVERHEAD LINES, TYP.

** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY

Plant List (L-2 Only)

QTY	SYMBOL	PLANT
1	(Symbol)	Platanus sp. / Magnolia sp.
1	(Symbol)	Platanus sp. / Magnolia sp.

NOTE:
 ALL PLANT MATERIAL SHALL BE SET ON EXPOSED SUB AND CONTAIN SPECIFICATIONS IN PLANT LIST. PLANT MATERIALS NOT LISTED SPECIFICATIONS SHALL BE REQUESTED. CONTRACTOR TO COORDINATE AVAILABILITY DATES WITH OTHER WORK TO COMPLETE DATE.

Landscape installation shall comply with current FDOT Standard Specifications Section 500-100

SCALE: 1"=20'-0"

Sealing
 Call 811 or www.call811.com and file before you dig to have utilities located and marked.
 Check for restrictions before you dig!

Permit # 2018-L496-012

FARKER-VANNETTE
 design group, inc.

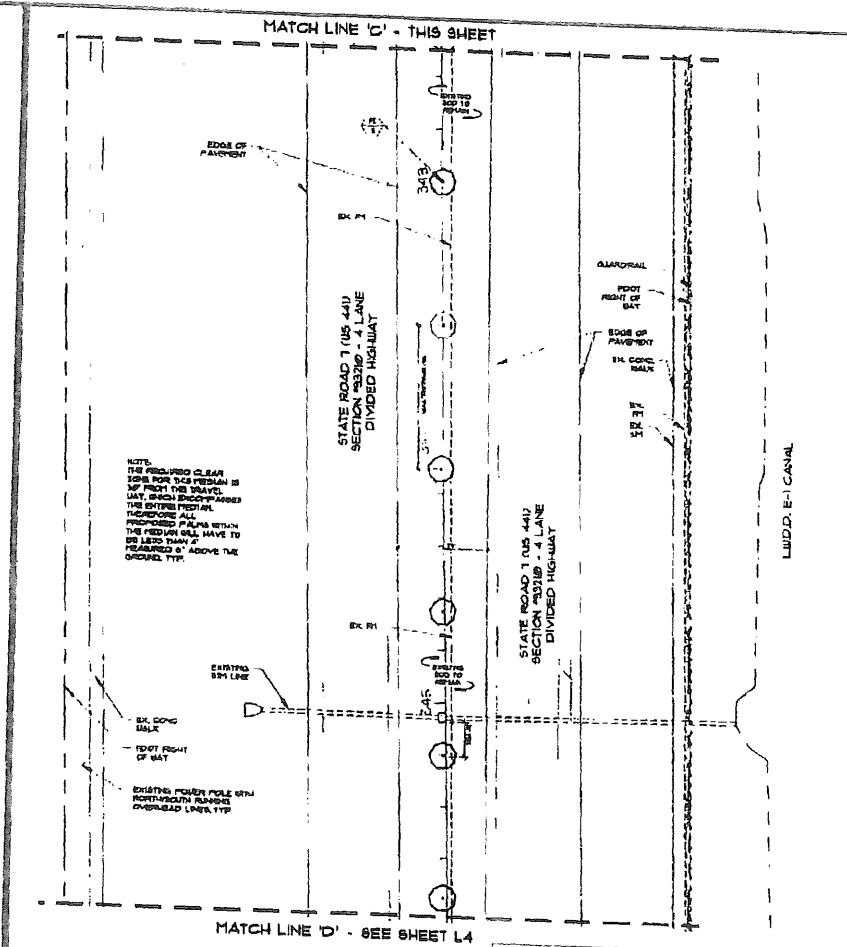
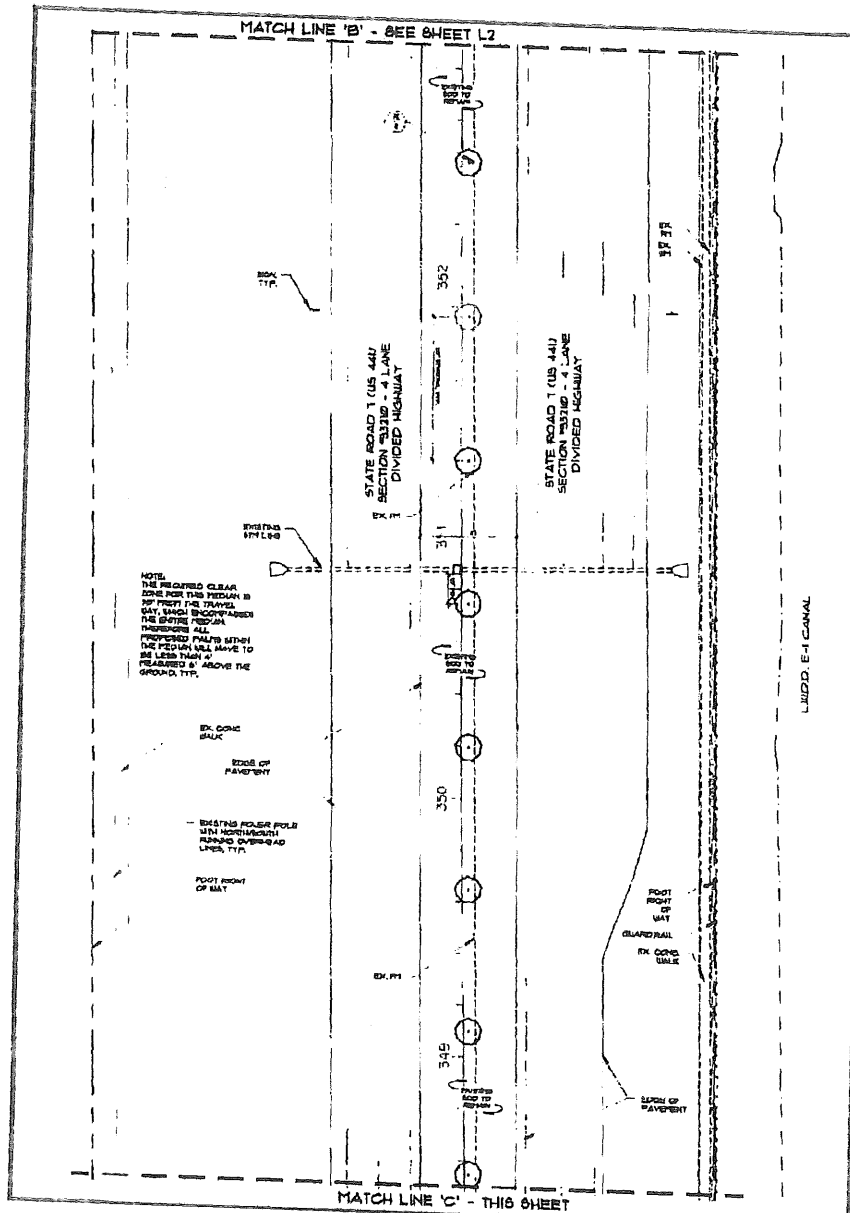
LANDSCAPE ARCHITECTURE
 LICENSE # 12012
 11000 N. Highway One
 Suite 200
 Palm Beach, Florida 33411
 Telephone 561 771-1077
 Fax 561 771-1077
 Email: info@farkervannette.com
 License # LC-12012

HYDER SOUTH AGR-PUD - 441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 DEVELOPER: LYONS ROAD V, LLC
 MEDIAN PLANTING PLAN

DATE: 08/20/18
 DRAWN BY: OCTAVIO
 CHECKED BY: TERRY
 SCALE: 1" = 20'-0"
 PROJECT: 18-001-001

Revised by:
 TERRY
 11/27/18

L2

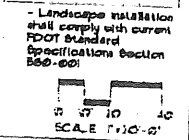


Plant List (L-3 Only)

QTY	SYMBOL	DESCRIPTION
100	14	Hydrocotyle elegans / Alexander Palm
200		Resistant natural 'Argentine' Bahia Grass

NOTE:
 ALL PLANT MATERIAL SHALL MEET OR EXCEED AASHTO AND CONTAINER SPECIFICATIONS OF PLANT LIST. PLANT MATERIAL NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO COORDINATE AVAILABILITY ISSUES WITH OWNER PRIOR TO CONTRACTING BIDDING.

**** DESIGN SPEED AND POSTED SPEED = 55 MPH IN 4 LANE DIVIDED HIGHWAY**



Sunshine 811
 Call 811 or www.sunshine811.com two full business days before digging to have utilities located and marked.
 Order: 1-877-258-5888

Permit # 2018-L496-012



AMERICAN ARCHITECTURE
 PARKER-YARNETTE
 design group, inc.
 12000 N.W. 22nd St.
 Fort Lauderdale, FL 33311
 Phone: (954) 747-1668
 Fax: (954) 747-2641
 Email: parker@pyd.com
 License # LC-4000297

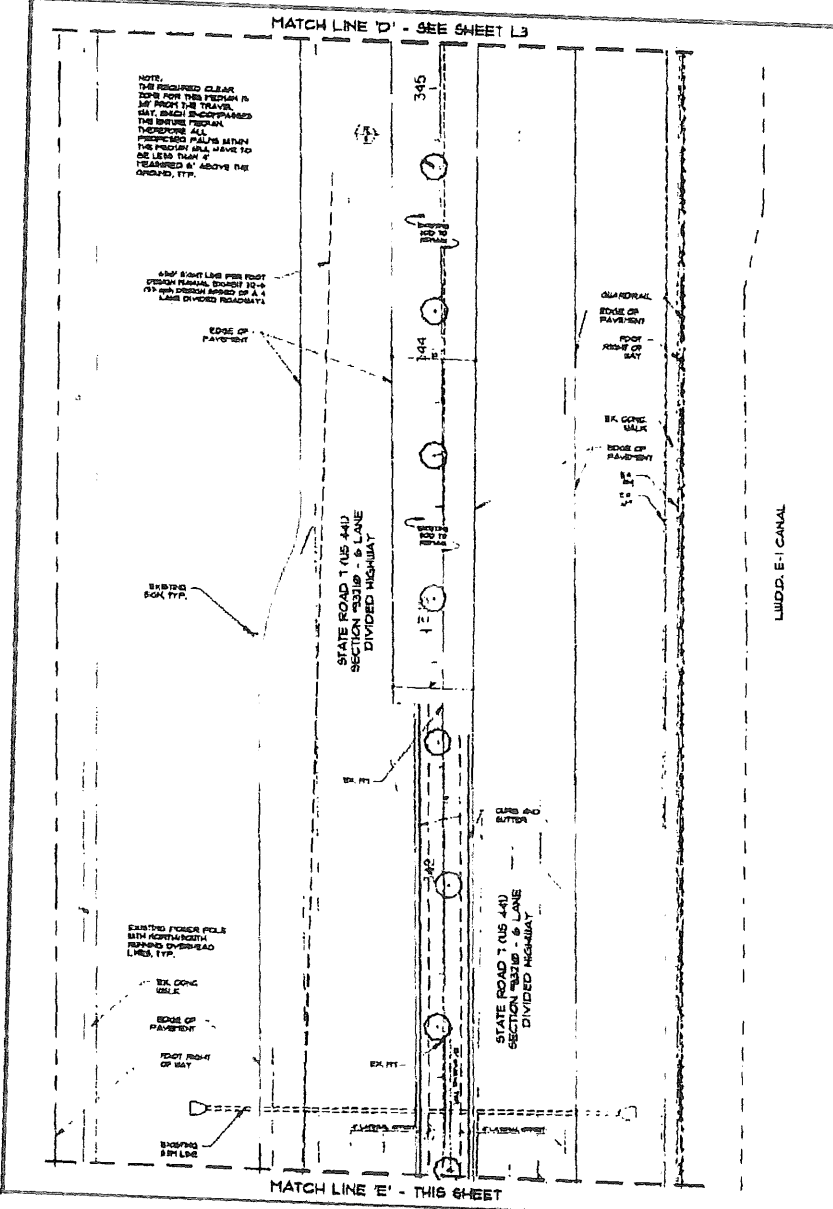
HYDER SOUTH AGR-PUD - 441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 DEVELOPER: LYONS ROAD V, LLC
 COVER SHEET

DATE: 6/28/18
 DRAWN BY: GCT/ALB/SD
 JOB NO: 18001
 SCALE: 1" = 30'
 FILE NO: 18001-01-01

REVISION:
 01/28/18 PLOT CORRECTED
 11/28/18 PLOT CORRECTED



L3



NOTE:
THE REQUIRED CLEAR
ZONES FOR THIS PROJECT IS
30 FT FROM THE TRAVEL
WAY. SMALL ENCROACHMENTS
THE MINIMUM FEDERAL
SPECIFICATIONS. ALL
PROPOSED PALMS WITHIN
THE PROXY SHALL HAVE TO
BE LESS THAN 7'
REQUIRED BY ABOVE THE
GROUND, TYP.

48" R/W LINE PER FOOT
DESIGN MANUAL, SECTION 10-4
11' W/ DESIGN SPEED OF 45
LANE DIVIDED ROADWAY

EXISTING
SOL TYP.

EXISTING POWER POLE
WITH NORTH/SOUTH
RUNNING OVERHEAD
LINES, TYP.

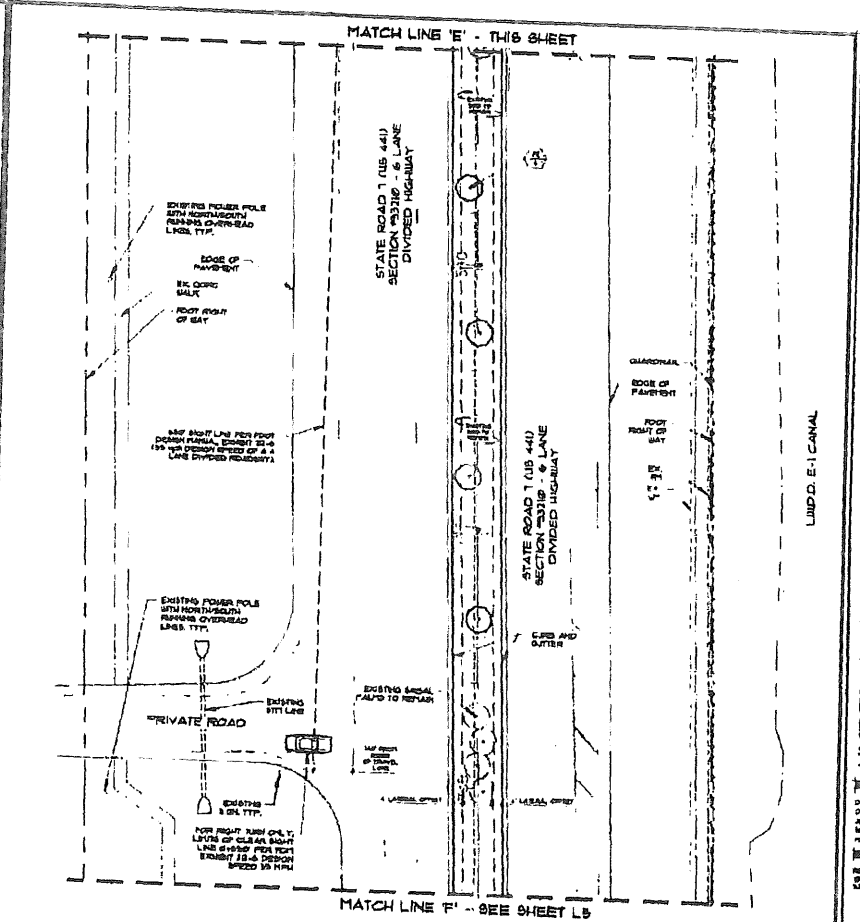
EX CONC
WALK

EDGE OF
PAVEMENT

ROOT RIGHT
OF WAY

EXISTING
SOL TYP.

EXISTING
SOL TYP.



EXISTING POWER POLE
WITH NORTH/SOUTH
RUNNING OVERHEAD
LINES, TYP.

EDGE OF
PAVEMENT

EX CONC
WALK

ROOT RIGHT
OF WAY

48" R/W LINE PER FOOT
DESIGN MANUAL, SECTION 10-4
11' W/ DESIGN SPEED OF 45
LANE DIVIDED ROADWAY

EXISTING POWER POLE
WITH NORTH/SOUTH
RUNNING OVERHEAD
LINES, TYP.

EXISTING
SOL TYP.

EXISTING
SOL TYP.

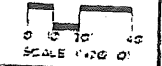
**** DESIGN SPEED AND POSTED SPEED
= 45 MPH IN 6 LANE DIVIDED HIGHWAY**

Plant List (L-4 Only)

QTY	SY	MPR	INDICATORS
PC	0	Psychotria elegans / Alexander Palm	03' ALL single stem, trunk calipers shall be no more than 4" at 4' to 5' above ground, full crown Florida 9
SC0	0	Platanus radicans / Argemone / Red Oxeye	Flagger, wood frame, 4'rd light.

NOTE:
ALL PLANT MATERIAL SHALL MEET OR EXCEED ALL AND CONTAINER SPECIFICATIONS IN PLANT
LIST. PLANT MATERIALS NOT MEETING SPECIFICATIONS WILL BE REJECTED. CONTRACTOR TO
COORDINATE AVAILABILITY ISSUES WITH GARDEN CENTER TO CONSIDERATION EARLY.

Landscape installation
shall comply with current
FDOT Standard
Specifications Section
505-621



Sunshine
Call 811 or www.sunshine1.com two full
business days before digging to have utilities
located and marked.
One SunShine.com/111

Permit # 2018-L496-012

PARKER-YANNETTI
Design Group, Inc.

LANDSCAPE ARCHITECTURE
FLORIDA
1111 N.W. 11th Street, Suite 200
Fort Lauderdale, FL 33304
Telephone: (954) 341-1111
Fax: (954) 341-1111
Email: info@p-y.com
LIC. NO. LC-0000027

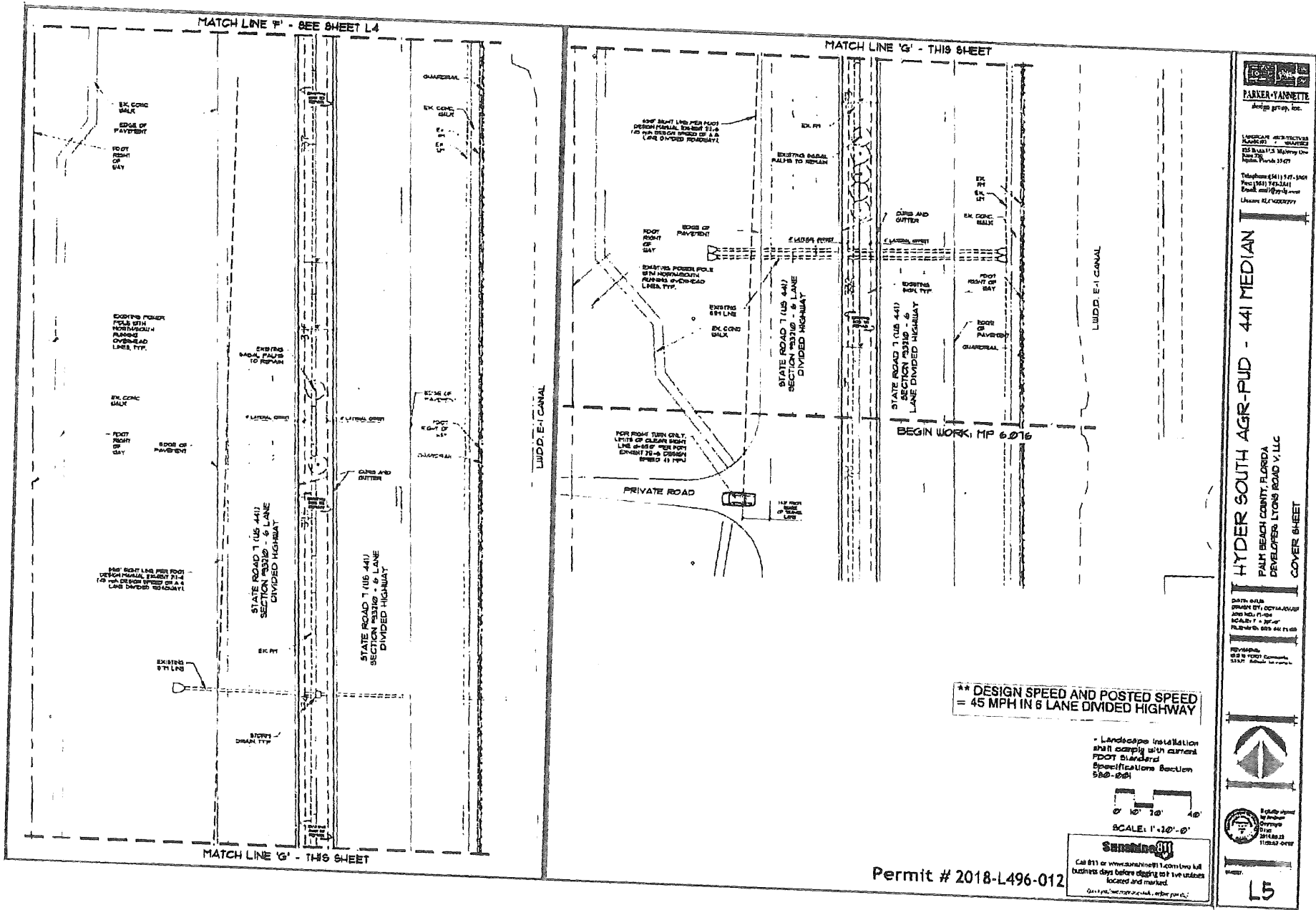
HYDER SOUTH AGR-FUD - 441 MEDIAN
PALM BEACH COUNTY, FLORIDA
DEVELOPER: LYONS ROAD V, LLC
COVER SHEET

DATE: 6.28.18
DRAWN BY: JCY/MLP
CHECKED BY: M/MLP
SCALE: 1" = 30'
REVISIONS: SEE SHEET L-3

REVISED:
DATE: 02/28/2018
BY: JCY/MLP
REASON: SEE SHEET L-3

SCALE 1" = 30'

L4



PARKER-YANNETTE
 Design Group, Inc.

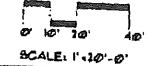
LANDSCAPE ARCHITECTS
 No. 1017
 225 South 11th Avenue, Suite 201
 Ft. Lauderdale, Florida 33301
 Telephone (305) 747-3400
 Fax (305) 747-2411
 Email: parker@pya.com
 License No. 1240000077

HYDER SOUTH AGR-PUD - 441 MEDIAN
 PALM BEACH COUNTY, FLORIDA
 DEVELOPER: LYONS ROAD V, LLC
 COVER SHEET

DATE: 04/18/2018
 DRAWN BY: CRYSTAL
 JOB NO: 18-012
 SCALE: 1" = 30'-0"
 REVISIONS: 001, 002, 003, 004, 005, 006, 007, 008, 009, 010, 011, 012, 013, 014, 015, 016, 017, 018, 019, 020, 021, 022, 023, 024, 025, 026, 027, 028, 029, 030, 031, 032, 033, 034, 035, 036, 037, 038, 039, 040, 041, 042, 043, 044, 045, 046, 047, 048, 049, 050, 051, 052, 053, 054, 055, 056, 057, 058, 059, 060, 061, 062, 063, 064, 065, 066, 067, 068, 069, 070, 071, 072, 073, 074, 075, 076, 077, 078, 079, 080, 081, 082, 083, 084, 085, 086, 087, 088, 089, 090, 091, 092, 093, 094, 095, 096, 097, 098, 099, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

**** DESIGN SPEED AND POSTED SPEED = 45 MPH IN 6 LANE DIVIDED HIGHWAY**

Landscape installation shall comply with current DOT standards Specifications Section 560-2.03



SCALE: 1" = 30'-0"

Senshine
 Call 811 or www.senshine.com two full business days before digging to locate and mark.
 Call 811 or www.senshine.com, or 800-888-8888

Permit # 2018-L496-012

15