

**PALM BEACH COUNTY  
BOARD OF COUNTY COMMISSIONERS  
AGENDA ITEM SUMMARY**

Meeting Date: **August 15, 2006**

Consent  
 Ordinance

Regular  
 Public Hearing

Department: Parks and Recreation

Submitted By: Parks and Recreation Department

Submitted For: Parks and Recreation Department

**I. EXECUTIVE BRIEF**

**Motion and Title:** Staff recommends motion to: **A) ratify** the Vice Chairperson's signature on a Florida Department of State – Division of Historical Resources Special Category Historic Preservation Grant Application requesting \$250,000 for renovation of the DuBois Pioneer Home in DuBois Park; **B) authorize** the County Administrator or his designee to execute the funding agreement, as well as task assignments, certifications, standard forms, or amendments to the agreement that do not change the scope of work or terms and conditions of the agreement, if the grant is approved; and **C) authorize** the Director of the Parks and Recreation Department to serve as Liaison Agent with the Florida Department of State for this project.

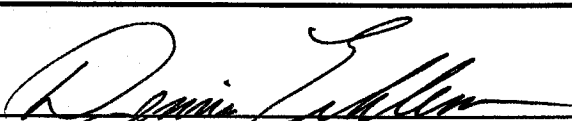
**Summary:** This Grant Application requests a \$250,000 match towards Phase I restoration of the DuBois Pioneer Home. The house will be renovated in two (2) phases. Phase I will be concentrating on restoring the house's exterior and structural integrity. Improvements will include repair or replacement of the roof, wood shake siding, windows, and stabilization of the Indian midden. Phase II will include restoring the interior, upgrading electrical, plumbing, and mechanical systems, and the addition of ADA accessible ramps to provide access to the site for educational and/or historic touring purposes. **District 1 (AH)**

**Background and Justification:** The Florida Department of State – Division of Historical Resources offers a number of grant programs to assist in the preservation of historical sites and facilities throughout Florida. On December 18, 2001, the Board authorized submission of a Florida Department of State - Division of Historical Resources grant application (R2001-2211) in the amount of \$30,000 for design services associated with the DuBois Pioneer Home. The \$30,000 match for this grant was funded by the Recreation Assistance Program District 1. The grant was approved, and the Project Agreement (R2002-1930) was executed. In September 2003, Bender and Associates Architects completed the plans and a project manual detailing the renovation of the house. The plans and project manual includes bidding and contract requirements, specifications, site work, materials, finishes, specialties, mechanical and electrical systems.

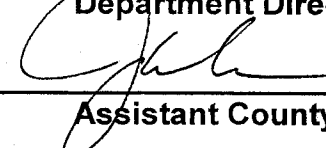
The Palm Beach County Parks and Recreation Department is currently working with the County's Capital Improvement Division to retain a historic architect to provide construction oversight and a qualified historic restoration contractor to complete Phase I of the restoration project. Phase II restorations will be the subject of a future grant funding request in FY 2007.

**Attachments:**

1. Historical Preservation Grant Application
2. Location Map

Recommended by:   
Department Director

7/18/06  
Date

Approved by:   
Assistant County Administrator

7/31/06  
Date

**II. FISCAL IMPACT ANALYSIS**

**A. Five Year Summary of Fiscal Impact:**

Fiscal Years	2006	2007	2008	2009	2010
Capital Expenditures	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
Operating Costs	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
External Revenues	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
Program Income (County)	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
In-Kind Match (County)	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
<b>NET FISCAL IMPACT</b>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>	<u>-0-</u>
# ADDITIONAL FTE POSITIONS (Cumulative)					

Is Item Included in Current Budget? Yes  No   
 Budget Account No.: Fund \_\_\_\_\_ Department \_\_\_\_\_ Unit \_\_\_\_\_  
 Object \_\_\_\_\_ Program \_\_\_\_\_

**B. Recommended Sources of Funds/Summary of Fiscal Impact:**

There is no fiscal impact at this time. Should the grant be awarded, the additional funding sources for this project are identified as follows:

DuBois Home Restoration                      3600-581-P554                      \$250,000

**C. Departmental Fiscal Review:** ckopelakis

**III. REVIEW COMMENTS**

**A. OFMB Fiscal and/or Contract Development and Control Comments:**

The funding source listed above in II/B is the Phase I match of \$250,000. This project has already been approved as part of the FY2006 Capital Improvement Program.

*[Handwritten signatures and dates]*  
 OFMB *[Signature]* 7-21-06  
*[Signature]* 7-24-06  
*[Signature]* 7-21-06

*[Handwritten signature]* 7/28/06  
 Contract Development and Control

**B. Legal Sufficiency:**

**This item complies with current County policies.**

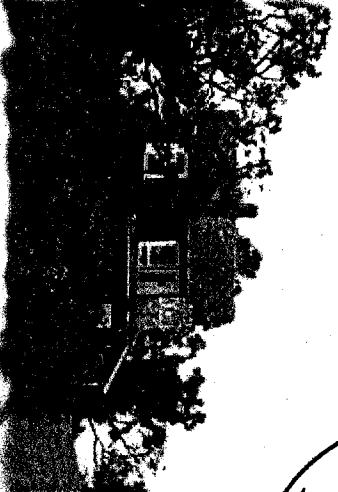
Anne Delgant 7/31/06  
 Assistant County Attorney

**C. Other Department Review:**

\_\_\_\_\_  
 Department Director

REVISED 10/95  
 ADM FORM 01

This summary is not to be used as a basis for payment

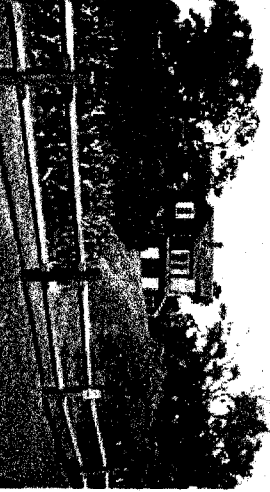
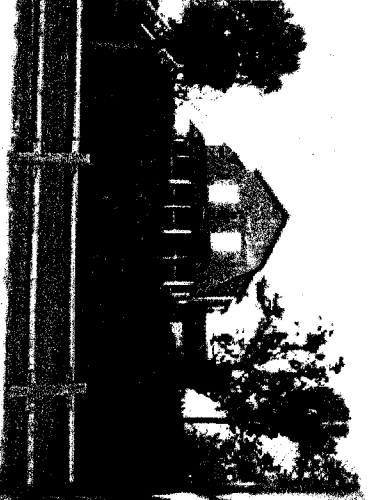


*DuBois*



*Home*

*Pioneer*



*Restoration*

## HISTORICAL RESOURCES GRANTS-IN-AID APPLICATION

- 1) PROJECT TITLE: DuBois Pioneer Home Restoration
- 2) APPLICANT ORGANIZATION: Palm Beach County
- 3) AMOUNT of GRANT FUNDS REQUESTED: \$ 250,000
- 4) MATCH/LOCAL COST SHARE AMOUNT: \$ 250,000

5) **PROJECT TYPE (CHECK ONE PLEASE)**

- a)  MAJOR ACQUISITION & DEVELOPMENT or MUSEUM EXHIBIT GRANT to be FUNDED FROM GENERAL REVENUE APPROPRIATION (SPECIAL CATEGORY)
- b)  ACQUISITION & DEVELOPMENT    c)  SURVEY & PLANNING    d)  COMMUNITY EDUCATION
- e)  CERTIFIED LOCAL GOVERNMENT    f)  MAIN STREET    g)  NON-MATCHING    h)  HISTORIC MARKER

6) In the space provided below, briefly describe the project and the property or properties for which funding is requested:

The DuBois Pioneer Home, built in 1898, is one of the last remaining historic homesteads of its type in unincorporated Palm Beach County. Located in northern Palm Beach County along the Jupiter Inlet within Dubois Park, this home is an excellent example of a self-sufficient South Florida pioneer homestead. Built atop a Native American midden by one of Jupiters most notable pioneer families, Harry and Susan DuBois, this unique home is rich in both historic and archeological value.

In 1903, a second story was added to the original single story wood frame structure that included 3 upstairs bedrooms and its first ever indoor bathroom. In the 1960's, a breezeway and Chauffeur's Room were added to the rear of the house obscuring the homes southern façade. Phase restoration will include removal of this addition, returning the house to its turn-of-the-century appearance.

The exterior of the house features gingerbread shingle roofing and siding with beaded tongue and groove siding under its covered porches. The exterior and first floor have been maintained in relatively good condition with most of the building materials and repairs remaining in character with original finishes. However, recent hurricanes have damaged roof shingles, window panes, and shutters. As a result of the hurricane damage, the exterior treatments will be repaired, improved or replaced to resist damage from future storm events. Where needed, structural repairs and reinforcement will be done in character with the historic nature of the house.

Much of the first floors original wood doors and windows remain intact and will be restored, repaired, and/or replaced with similar materials. At some point the second floor widows and those in the kitchen were modernized and replaced with aluminum units. These windows will be restored to their original openings and replaced with wood double hung windows as part of the Phase 1 project. All doors and windows will also be afforded some level of hurricane resistant covers or panels.

In summary, the Phase 1 project will concentrate on restoration of the house's exterior and structural integrity to return this magnificent pioneer home to its 1937 pre-World War II era appearance. The restoration of this house will also include the upgrading of electrical, plumbing and mechanical systems as well as improving ADA. accessibility to provide the best and greatest access to the site for educational and/or historic touring purposes.

7) Attach a 3x5" photo of the property.



Florida Department Of State  
Division of Historical Resources  
Form HR3E0410705  
(Effective July 2005)



**8) PROJECT LOCATION INFORMATION:**STREET ADDRESS and CITY: 19075 DuBois Road  
Jupiter, FL 33477-9509COUNTY WHERE PROJECT IS LOCATED: Palm Beach CountyCOMMUNITY POPULATION: 39,328 COUNTY POPULATION: 1,134,184**9) APPLICANT INFORMATION:**ORGANIZATION NAME: Palm Beach County Parks and Recreation DepartmentADDRESS: 2700 6th Avenue SouthCITY: Lake Worth STATE: FL ZIP: 33461TYPE OF APPLICANT:  **NON-PROFIT ORGANIZATION**  **GOVERNMENTAL AGENCY;**NAME AND TITLE OF  
ORGANIZATION'S CHIEF OFFICER: Tony Masilotti, Palm Beach County Board of County Commissioners, ChairmanAPPLICANT'S FEDERAL EMPLOYER IDENTIFICATION NO: 59-6000-785SAMAS NO.: (STATE AGENCIES ONLY) Not ApplicableENDING DATE OF APPLICANT ORGANIZATIONS FISCAL YEAR: 9/30DESIGNATED PROJECT CONTACT: Dennis Eshleman, DirectorADDRESS: 2700 6th Avenue SouthCITY: Lake Worth STATE: FL ZIP: 33461-4727DAYTIME TELEPHONE NO: (561)966-6600 EXT. \_\_\_\_\_ FAX NUMBER: (561)963-6747EMAIL ADDRESS: DESHLEMA@co.palm-beach.fl.usORGANIZATIONS WEBSITE ADDRESS: www.pbcgov.com/parks/**10) Florida Legislative and U. S. Congress Information**

State House Of Representatives District Number And Name Of Representative For Project Location.

DISTRICT NUMBER(S): 83 REPRESENTATIVE: Carl S. Domino

State Senate District Number And State Senator For The Project Location:

DISTRICT NUMBER(S): 28 SENATOR: Ken Pruitt

Congressional District Number And Name Of U.S. Congressional Representative For The Project Location

DISTRICT NUMBER(S): 16 CONGRESSMAN: Mark Foley

11) **APPLICANT'S GRANT HISTORY:** Has the applicant received previous grant assistance from the Department of State? If yes, specify the year, the project name, the Division that awarded the grant and the amount of the award.

<u>YEAR</u>	<u>DIVISION</u>	<u>PROJECT NAME</u>	<u>AWARD</u>
2003	Historical Resources	Palm Beach County Archaeological Survey	\$25,000
2003	Historical Resources	DuBois Pioneer Home	\$30,000
2004	Historical Resources	1916 Courthouse Restoration, Phase I	\$300,000
2005	Historical Resources	1916 Courthouse Restoration, Phase II	\$350,000

12) INDICATE EACH TYPE OF HISTORICAL DESIGNATION CURRENTLY HELD BY THE PROJECT SITE:

- Individual National Register Listing      Date Listed: \_\_\_\_\_
- National Register District - Contributing Site      Date of District Listing: November 5, 1985
- Determined Eligible or Potentially Eligible (per Florida Master Site File)
- Individual Local Designation     Local District Designation - Contributing Site     None Of The Above

13) INDICATE THE LEVEL(S) OF LOCAL PROTECTION CURRENTLY AFFORDED THE SITE/AREA:

- Local Ordinance     Local Ordinance Design Review     Preservation Or Conservation Easement
- Protective Covenant     Maintenance Agreement      Other: (Specify) \_\_\_\_\_

14) Provide a brief explanation of Immediate Threats to the site or area such as proposed demolition, extensive structural damage, on-going site disturbance for archaeological sites, planned re-zoning, etc.

The DuBois Pioneer Home is located near the mouth of the Jupiter Inlet in view of the Atlantic Ocean and has withstood the effects and damages of the elements for over 100 years. The immediate threats to the building are from natural causes. The home is located within a coastal hazard zone, but since it is located on top of a Native American shell midden, it is not threatened by storm surge or coastal flooding. However, as a result of its increased elevation, there is greater susceptibility to wind damage. The wood shingle roof and windows sustained minor damage from hurricane Wilma's high winds and need repairs to limit further storm damage. The most visually obvious adverse impact to the building's exterior is from local fauna (woodpeckers, squirrels, bees, and wood eating insects) that burrow into the house's wood siding. Situated in DuBois Park, the house has been in public ownership since 1971, and afforded protection from future development pressure.

15) Describe the Project Activities completed to date:

In 2003, the Loxahatchee River Historical Society hired the architectural firm of Bender and Associates Architects to complete architectural drawings and specifications for the renovation of the DuBois Pioneer Home. This work was funded by \$30,000 from the Palm Beach County Board of County Commissioners and matched with \$30,000 from a State Historic Grant.

In September 2003, Bender and Associates Architects completed the drawings and a project manual detailing the renovation to house. The project manual includes bidding and contract requirements, specifications, site work, materials, finishes, specialties, mechanical and electrical systems.

The Palm Beach County Parks and Recreation Department is currently working with the County's Capital Improvement Division to retain a historic architect to provide construction oversight and a qualified historic restoration contractor to complete the work.

- 16) Describe the **major elements** of the project and indicate the **entities** (i.e. Consultant, in-house, volunteers) responsible for each element. Include in your description the estimated amount of time to accomplish each task. *(Note: Grants awarded from the Division Historical Resources Operating Trust Fund will have 12 months in which to complete the project. Grants awarded from an appropriation of State General Revenue Funds will have 24 months).*

Palm Beach County is in the process of hiring a historic architect for construction oversight as well as a general contractor who specializes in historic restoration. The final selection is not complete at this time. However, the County has Christian Davenport, County Archaeologist and Bryan Davis, Principal Planner on staff, who will be advising/overseeing the historic preservation aspects of the proposed renovations. These staff members are extensively versed in cultural resource management and historic architecture. The entire house will be restored to its pre World War II condition in two phases. All historically inaccurate material will be removed and replaced with materials to match historic as to species, grade, profile and finish. Phase 1 will include exterior renovations and stabilization of the Indian midden. Phase 2 will include restoration of the interior, to original materials and finishes and renovation of mechanical and electrical systems. All restorations and renovations will follow the guidelines laid out by the Secretary of Interior Standards for Rehabilitation to the greatest extent possible. All restorations and renovations will be designed to reduce further adverse impacts to the underlying Native American shell midden. (1) Repair or replacement of roof – six months; (2) Repair and Restoration of wood shingles – 12 months; (3) Restore or replace windows and exterior doors - 18 months; (4) Removal of existing exterior wood shutters and installation of a removable clear Lexan storm shutter system – two months; (5) Removal of rear breezeway and Chauffeurs room - removal of the addition - six months; (6) Restoration of covered patios and decks – six months; (7) Restabilization of Indian midden – 12 months; (8) Repair of existing wood staircase on eastern side of the midden – four months. (See Attachment L for further detail).

- 17) What is the anticipated annual **Cost Of Maintenance** of the Historic Property, Archaeological Site, or Museum Exhibit upon completion of the project; and what is the source of the funding?

The DuBois Pioneer Home will be maintained by Palm Beach County Parks and Recreation Department using ad valorem taxes. Once the renovations are complete it is anticipated it will cost approximately \$5,000 annually to maintain the house and property including landscaping and the Indian midden.

- 18) Provide a brief description of the **Educational Benefits** this project will have on the local community and the state.

One of the few remaining historic South Florida homesteads, the DuBois Pioneer Home is a popular tourist site with formal tours offered to the public several days a week. These tours detail the family life and describe subsistence methods used by the DuBois family during the late 1800's through the 1930's. Period furnishings, personal objects, tools and equipment utilized by the family are also on display. First person historical accounts recorded by local residents are presented to visitors describing local life in the Jupiter Inlet Area. Funding from the grant will help stabilize and restore the building so that the community may continue to learn about historic lifestyles and events that have helped shaped Palm Beach County. The project itself will provide educational opportunities for local university students to view historic preservation techniques during field trips.

In addition, the Loxahatchee River Historical Society holds several one week long eco-history summer camps at the DuBois Pioneer Home for children ages 8 -12. The camp teaches children about pioneer life and the history of the Jupiter Inlet area.

- 19) What is the estimated Annual Visitation for the project site? +/- 10,000

20) Provide a brief explanation indicating the **direct impact** of this project on **minorities and the disabled**. Include any alterations to the site that will make the site more accessible to the public.

The DuBois Pioneer Home is built atop an Indian midden and, has never been ADA assessable for obvious reasons. Phase 1 will include renovations to the roof, windows, and wood siding to protect the home from the elements and to make it structurally sound, prior to making historically valid modifications to better accommodate visitors. Phase 1 will also restore the exterior walkways to the building including handicap parking stalls close to the midden.  
Phase 2 of the renovations will include an ADA accessible wheelchair ramp, providing access to the first floor of the home. The doorways and hallway will be modified where needed to accommodate wheelchair access, while preserving the historic nature of the property.

21) Provide a brief explanation of the **Direct Economic Impact** this project will have on the surrounding community. Include any information regarding number of jobs it will provide, if known.

According to Palm Beach County's Tourism Development Council, 4.3 million tourists visited Palm Beach County in 2005, resulting in \$2.7 billion in economic impact and creation of 54,000 jobs. Research shows that 44.4% of the State's 85 million visitors participated in history-based activities. On average these visitors stay longer and spent more money than other kinds of tourists.  
Numerous national and international web sites recommend visiting the DuBois Pioneer Home to learn about pioneer life in Palm Beach County.  
The average visitor/hotel guest in Palm Beach County spends an average of \$1,166 per person (Tourist Development Council, Hotel Survey 2006 for January, February and March.) In January, February and March 2006, the hotel occupancy rate was 80%, 86% and 87% respectively, in Palm Beach County.

**22) SITE SIGNIFICANCE (FOR ALL ACQUISITION & DEVELOPMENT/SPECIAL CATEGORY PROJECTS or PROJECTS WHICH ARE SITE SPECIFIC):**

- a) For Historic Structures and Archaeological Sites, Enter the Florida Master Site File Number: PB00034B  
**(Attach copy of the Site File Form as Attachment G)**
- b) For Historic Structures, Date of the Original Construction: 1898
- c) For Historic Structures, Date(s) and Description of Major Alterations: 1903, 1937
- d) Original Use of Historic Structure: Residence and later historic use as a winter rental residence
- e) Current Use of Historic Structure: House Museum
- f) Proposed Use of Historic Structure: House Museum
- g) For Archaeological Sites, Provide the Cultural Affiliation of the Site and Dates of Use or Occupation: The Jeaga Native American Tribe, and European-Americans - Possibly as early as 12,000 years but certainly 3,000 years ago
- h) Provide a statement of significance for the property/site:

The DuBois Pioneer Home is more than 100 years old and an excellent example of homestead lifestyle at the turn of the 20th century. Furthermore, the home is located on top of a Native American shell midden and habitation site. These factors allowed it to be listed on the National Register of Historic Places.

23) **Acquisition of Historic Properties**

Full Purchase Price of the Historic Property: N.A. Appraised Value of the Property: \_\_\_\_\_

The maximum grant share for Historic Property Acquisition project shall not exceed 50% of the value of the property as determined by the appraisal; the average of two appraisals, if two were obtained; or the average of the closest two appraisals, if more than two were obtained; or 50% of the purchase amount, whichever is less. Please refer to the Application Instructions for additional documents required for an acquisition project to be included as **Attachment H**

24) **SURVEY & PLANNING GRANTS:**

For **Surveys**, indicate the types of historical resources to be surveyed. N.A.

a) Provide the title and publication date of any previous surveys in the survey project area.

b) Provide an Estimate of How Many Florida Master Site File Forms will be produced:

Newly Recorded Sites: \_\_\_\_\_ Florida Master Site File Updates: \_\_\_\_\_

(Note: Surveys that record or update more than 35 site locations must produce paper Florida Master Site File forms and also submit the site file data in the electronic data entry program *SmartForm* provided by the Florida Master Site File.)

c) Enter the Acreage of the area to be surveyed: \_\_\_\_\_

d) For **National Register Nominations**, indicate the number of anticipated:

**Individual Nominations:** \_\_\_\_\_ **District Nominations:** \_\_\_\_\_

e) Will a multiple property cover nomination be produced?  Yes  No

25) **FOR ALL COMMUNITY EDUCATION PROJECTS:**

a.) For **Audio-Visual Productions, Books, Pamphlets, Walking Tour Brochures**, etc., Explain how the product will be **Marketed and/or Distributed:**

N.A.

b.) How many minutes/pages is the product? \_\_\_\_\_

c) How many copies of the product will be produced? \_\_\_\_\_

d) If the printed/media materials are proposed for distribution, will there be a per item charge?  Yes  No. If Yes, provide the estimated charge. \_\_\_\_\_

e) For **Educational Materials**, is the local school system actively involved in your project?  Yes  No. If Yes, describe their participation to date and anticipated participation in this project.

f) Do you intend to integrate your project into the Florida Heritage Education Program?  Yes  No.

g) **HISTORIC MARKERS**

For Historic Markers, include Form No. HR3E171294 from the Bureau of Historic Preservation as **Attachment I**.

**26) FOR ALL MUSEUM EXHIBITS PROJECTS (Special Category Museum Projects):**

a.) In the space below, describe the Florida History museum exhibit for which funding is requested.

N.A.

b) Provide an estimated of the square footage of the museum exhibit being proposed: \_\_\_\_\_

27) Justification of Historical Theme: Explain why this exhibit is important to Florida History

N.A.

28) Detailed Description of exhibit work: Describe each of the following major elements of the exhibit in sufficient detail to demonstrate how the exhibit will be implemented and what methods will be used to achieve your goals. Include research, artifact selection, text/script, design, fabrication, installation, educational programming, promotion and maintenance. Attach completed museum exhibition designs with appropriate sketches as **Attachment J**.

N.A.

29) **PROJECT BUDGET**

BUDGET ITEMS	GRANT FUNDS	MATCHING FUNDS or LOCAL COST SHARE	SUB-TOTAL
Roof repair and/or replacement	\$ 30,000.00	\$ 30,000.00	\$ 60,000.00
Repair and replacement of wood shingles siding	\$ 30,000.00	\$ 30,000.00	\$ 60,000.00
Window repair and/or replacement	\$ 25,000.00	\$ 25,000.00	\$ 50,000.00
Exterior door repair and/or replacement	\$ 15,000.00	\$ 15,000.00	\$ 30,000.00
Remove wood shutters, install Lexan storm shuttr	\$ 15,000.00	\$ 15,000.00	\$ 30,000.00
Removal of breezeway and Chauffeurs quarters	\$ 25,000.00	\$ 25,000.00	\$ 50,000.00
Restoration of covered porch & decks	\$ 35,000.00	\$ 35,000.00	\$ 70,000.00
Stabilize Indian midden, landscape,handicap park	\$ 30,000.00	\$ 30,000.00	\$ 60,000.00
Repair Staircase and railings	\$ 10,000.00	\$ 10,000.00	\$ 20,000.00
Painting/Refinishing Misc.	\$ 35,000.00	\$ 35,000.00	\$ 70,000.00
	\$	\$	\$ 0.00
	\$	\$	\$ 0.00
	\$	\$	\$ 0.00
	\$	\$	\$ 0.00
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	\$	\$	\$ 0.00
	\$	\$	\$ 0.00
<b>TOTALS</b>	\$ 250,000.00	\$ 250,000.00	\$ 500,000.00



- 30) **Matching and Local Cost Share Funds:** List the sources and amounts of confirmed matching funds. (For items involving personnel, indicate the number of hours to be spent on project activities with their per/hour value and the project activities to be performed.) For matching grant projects, funds must not be expended before execution of a Grant Award Agreement. For Special Category grant projects, clearly indicate 1) the resources contributed to the project during the preceding five (5) year period and 2) the resources available for the project during the period for which funding is requested.

Match of \$250,000 will be provided by Palm Beach County Parks and Recreation Department as defined in Palm Beach County's Capital Improvement Budget documents and match letter (Attachment B).

The Florida Department of State provided a \$30,000 grant for the design phase of the DuBois Pioneer Home restoration. This grant was matched with \$30,000 from the Palm Beach County Board of County Commissioners.

**CERTIFICATIONS**

31) **Applicant certification:** This certification must be signed by the duly authorized representative of the applicant organization or agency before the application will be considered for funding assistance.

I certify that the information contained in this application is true and correct to the best of my knowledge, and that I am the duly authorized representative of the applicant.

Name (type or print) Tony Masilotti Addie L. Greene  
 Agency or organization Palm Beach County Title Chairman  
 Signature \_\_\_\_\_ Date \_\_\_\_\_

32) **Owner concurrence:** If the applicant does not own the property, the owner of record must sign the following statement indicating concurrence with the proposed project and this application for grant assistance.

I, the undersigned, am the owner of the property identified under item 8) Project Information on Page Two of this application and hereby acknowledge my support for and full concurrence with this application.

Name (print or type) Not Applicable  
 Signature \_\_\_\_\_ Date \_\_\_\_\_  
 Address \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 Daytime telephone \_\_\_\_\_ FAX Number \_\_\_\_\_

33) **Agreement to Execute Restrictive Covenant (SPECIAL CATEGORY & ACQUISITION PROJECTS ONLY):**

For projects involving historic properties and those involving archaeological sites which will be maintained subsequent to the completion of the project, the owner, long-term lessee or other responsible party must sign the following statement indicating agreement to execute a 10 year restrictive covenant to run with the property deed, should a grant award be made.

I, the undersigned, am the duly authorized representative of the  owner,  long-term lessee, or  other organization or agency having responsibility for maintenance of the property identified under item 8) Project Information on Page Two of this application subsequent to completion of the project for which funding is requested. I hereby indicate agreement to execute a restrictive covenant through which the organization or agency I represent will commit to maintenance of the referenced property in accordance with good preservation practice and the applicable standards and guidelines of the Secretary of the Interior for a period of ten years. I further agree that the organization or agency will not make any modifications to the property (other than routine repairs and maintenance) without review of the plans and specifications by the Bureau of Historic Preservation and that every effort will be made to design any modifications in a manner consistent with the applicable standards and guidelines of the Secretary of the Interior.

Name (print or type) Tony Masilotti Title Board Chairman  
 Signature Addie L. Greene Date 6/16/06  
 Address 301 North Olive Avenue, 12th Floor  
 City West Palm Beach State Florida Zip 33401  
 Daytime telephone 561-355-6300 FAX Number 561-355-4366

APPROVED AS TO FORM AND  
 LEGAL SUFFICIENCY

Anne Delmont  
 COUNTY ATTORNEY



*Attachments*

**ATTACHMENT CHECKLIST**

34) The following supporting documents are attached to this application:

- Attachment A:** Civil Rights Assurance of Compliance form .
- Attachment B:** Documentation of Confirmed Match or Local Cost Share
- Attachment C:** Letters of Support, Endorsement, or Resolutions.
- Attachment D:** Photographs describing the existing condition of the property or site.
- Attachment E:** A photograph showing the principal view of the subject property or an image that conveys the purpose of the project. It will be shown in the public meeting when the Grant Review Panel or Florida Historical Commission reviews your project. May be submitted in an electronic format.
- Attachment F:** If completed, architectural project schematics or construction documents (ONE SET ONLY) (ACQUISITION AND DEVELOPMENT and SPECIAL CATEGORY PROJECTS).
- Attachment G:** Copy of Florida Master Site File Form.
- Attachment H:** For Acquisition projects only: A complete summary appraisal prepared by a Florida State Certified General Real Estate Appraiser (two appraisals are required if the value of the first appraisal exceeds \$500,000), an ownership and encumbrance search, an executed option or purchase agreement, property survey, and (if applicable) a copy of a professional archaeological survey if the property is being proposed for purchase as a significant archaeological site.
- Attachment I:** For historic marker projects only: Florida Historic Marker Application Form No. HR3E171294 and verification of review and approval by the Florida Marker Council
- Attachment J:** If completed, museum exhibition designs with appropriate sketches (MUSEUM EXHIBIT PROJECTS ONLY).
- Attachment K:** For non-profit organizations only: documentation of non-profit status.
- Attachment L:** Optional Attachments

## ATTACHMENT A

U.S. DEPARTMENT OF THE INTERIOR  
NATIONAL PARK SERVICE  
CIVIL RIGHTS ASSURANCE OF COMPLIANCE

Palm Beach County (hereinafter called "Applicant-Recipient") hereby agrees that it will comply with Title VI of the Civil Rights Act of 1964 (P.L. 88-352) and all requirements imposed by or pursuant to the Department of the Interior Regulations (43 CFR 17) issued pursuant to that title, to the end that, in accordance with Title VI of the Act and the Regulations, no person in the United States shall, on the grounds of race, color, or national origin be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which the Applicant-Recipient receives financial assistance from the Florida Department of State and hereby gives assurance that it will immediately take any measures to effectuate this agreement.

The Applicant-Recipient also agrees to comply with Section 504 of the Rehabilitation Act of 1973 and the Age Discrimination Act of 1975 and all requirements imposed by or pursuant to the Department of the Interior Regulations (43 CFR 17) issued pursuant to these titles, to the end that, no person in the United States shall, on the grounds of disability or age be excluded from participation in, be denied the benefits of, or be otherwise subjected to discrimination under any program or activity for which the Applicant-Recipient receives financial assistance from the National Park Service and hereby gives assurance that it will immediately take any measures to effectuate this agreement.

If any real property or structure thereon is provided or improved with the aid of Federal financial assistance extended to the Applicant-Recipient by the Florida Department of State, this assurance obligates the Applicant-Recipient, or in the case of any transfer of such property, any transferee for the period during which the real property or structure is used for a purpose involving the provision of similar services or benefits. If any personal property is so provided, this assurance obligates the Applicant-Recipient for the period during which it retains ownership or possession of the property. In all other cases, this assurance obligates the Applicant-Recipient for the period during which the Federal financial assistance is extended to it by the Florida Department of State.

This assurance is given in consideration of and for the purpose of obtaining any and all Federal grants, loans, contracts, property discounts or other Federal financial assistance extended after the date hereof to the Applicant-Recipient by the bureau or office, including installment payments after such date on account of arrangements for Federal financial assistance which were approved before such date. The Applicant-Recipient recognizes and agrees that such Federal financial assistance will be extended in reliance on the representations and agreements made in this assurance, and that the United States shall reserve the right to seek judicial enforcement of this assurance. This assurance is binding on the Applicant-Recipient, its successors, transferees, and assignees, and the person or persons whose signature appear below are authorized to sign this assurance on behalf of the Applicant-Recipient.

6/16/06  
Dated

\_\_\_\_\_  
Applicant-Recipient

By Addie L. Greene  
(President, Chairman of Board or  
Comparable authorized Official)

301 North Olive Avenue, 12th Floor

\_\_\_\_\_  
APPLICANT-RECIPIENT'S MAILING ADDRESS

APPROVED AS TO FORM AND  
LEGAL SUFFICIENCY

Anne Helgen  
COUNTY ATTORNEY



June 15, 2006

**ADDIE L. GREENE**

Commissioner, District VII

Mr. Fred Gaske  
Director, Division of Historical Resources  
Bureau of Historic Preservation  
Grants and Education Section  
500 South Bronough Street  
Tallahassee, Florida 32399-0250

**RE: DuBois Pioneer Home Special Category Historic Preservation Grant**

Dear Mr. Gaske:

Palm Beach County is pleased to submit a grant application for the renovation of the historic DuBois Pioneer Home located on the Jupiter Inlet. This home was built by Harry DuBois for his bride Susan in 1898 atop an Indian midden, and offers visitors a view of the ocean as well as the Jupiter Lighthouse.

This home is on the National Register of Historical Place and will be restored in two phases. Phase one will include the renovation of the exterior, making the home structurally sound and phase two will focus on interior renovations and the mechanical systems. With financial assistance from the State's Special Category Grant these renovations will be made possible.

The Board of County Commissioners has established a budget of \$250,000 in FY 2006, for the restoration of the DuBois Pioneer Home.

Please contact Jean Matthews, Senior Planner at the Parks and Recreation Department 561-966-6652 if you have any questions about this grant application or if you need any additional information.

Thank you for your assistance in this endeavor.

Sincerely,

Addie L. Greene, Vice Chairperson  
Board of County Commissioners

Palm Beach County  
Board of County Commissioners  
Governmental Center, 12<sup>th</sup> Floor  
301 North Olive Avenue  
West Palm Beach, Florida 33401  
(561) 355-2207  
Fax: (561) 355-6332

South Office:  
Southeast County Complex  
345 Congress Avenue  
Jupiter Beach, Florida 33445  
(561) 276-1350  
Fax: (561) 276-1365

agreene@co.palm-beach.fl.us

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Affirmative Action Employer"

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PALM BEACH COUNTY, FLORIDA  
 EXPENDITURE STATEMENT OF ACCOUNTS  
 FISCAL YEAR: 2006

DEPT NAME: Parks & Recreation-Capital

FUND	DEPT	OBJECT	OBJECT NAME	APPROVED BUDGET	CURRENT BUDGET	ACCRUED EXPENDED	CASH EXPENDED	PRE ENCUMBERED	ENCUMBERED	UNCOMMITTED BALANCE
FUND: 3600 Park Improvemt Fund										
P554										
3600	581	8201	Contributions-Non-Govts Agn	250,000	250,000	0.00	0.00	0.00	0.00	250,000.00
P554			Dubois Home Restoration	250,000	250,000	0.00	0.00	0.00	0.00	250,000.00
			FUND: 3600	250,000	250,000	0.00	0.00	0.00	0.00	250,000.00
				250,000	250,000	0.00	0.00	0.00	0.00	250,000.00

**Palm Beach County Capital Improvement Program**

FY 2006 - FY .1 (\$ in 1,000)

**Capital Project Proposal**

**Project Title: Dubois Home Restoration**

**Description: The county recently completed a historic restoration plan for the Dubois Home in Dubois Park. These additional funds will provide funding to completely restore this facility.**

**Cost Projections**

Element	Spending Prior FY's	FY 2005 Current	FY 2006 Request	FY 2007	FY 2008	FY 2009	FY 2010	FY 2011	Beyond FY 2011	Total
Design										0
Acquisition										0
Construction			250	250						500
Other										0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>250</b>	<b>250</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>500</b>

**Comprehensive Plan**

In Comp Plan <u>Y/N</u>	N
Managed Growth Tier	US
High Hazard Area <u>Y/N</u>	Y
Revitalization Overlay	N
Comp Plan Element	ROSE
Policy Number	1.1,1.2,1.5
Priority Ranking:	
Policy 1.4-a	4 & 6
Policy 1.4-b	2
Special	N/A

**Funding Projections**

Category	Funding Prior FY's	FY 2005 Current	FY 2006 Request	FY 2007	FY 2008	FY 2009	FY 2010	FY 2011	Beyond FY 2011	Total
Ad Valorem			250	250						500
Impact Fees										0
Grants										0
Operating										0
Bonds										0
Other										0
<b>Total</b>	<b>0</b>	<b>0</b>	<b>250</b>	<b>250</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>500</b>

**Operating Cost Projections**

F/Y	1st Year	Ongoing
Staff		
O & M		
Equipment		
Other		
<b>Total</b>	<b>0</b>	<b>0</b>
# of Positions		



**Letters of Support**

**Attachment C**

1. Palm Beach County Board -- Commissioner Karen Marcus
2. Palm Beach County Historic Resource Board
3. FAU Anthropology Department
4. Senator Ken Pruitt - District 28 (Senate)
5. Representative Carl J. Domino - District 83 (House)
6. FAU Anthropology Department
7. Nancy Kindt Hernandez
8. Town of Jupiter
9. Loxahatchee River Historical Society

**Board of County Commissioners**

Tony Masiolotti, Chairman  
Addie L. Greene, Vice Chairperson  
Karen T. Marcus  
Jeff Koons  
    en H. Newell  
Mary McCarty  
Burt Aaronson

**County Administrator**  
Robert Weisman



June 13, 2006

Mr. Fred Gaske  
Bureau of Historic Preservation  
Florida Department of State  
R.A. Gray Building  
500 South Bronough Street  
Tallahassee, FL 32399-0250

Dear Mr. Gaske:

I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

DuBois Park is an 18.69 acre passive park facility, located on the south side of the Jupiter Inlet, near the Town of Jupiter. Featured on the property is the DuBois Pioneer Home, which is wood-framed, shingled two-story residence, indicative of houses constructed in the late 1800's. The home is on the National Register of Historical Places and open to the public for tours on weekends. This home was built by Harry DuBois for his bride Susan Sanders in 1898 on top of an Indian mound; which gives visitors to the building a view of the Atlantic Ocean and Jupiter Lighthouse. Some rooms, within the home are decorated with period furniture to recall an era of early pioneer life in South Florida.

The renovation of this homestead will preserve the property for future generations and will provide a great opportunity for residents and visitors to experience the livelihood of some of our earliest residents.

Sincerely,

Karen T. Marcus  
County Commissioner

KTM/cld

"An Equal Opportunity Affirmative Action Employer"

P.O. Box 1989, West Palm Beach, FL 33402-1989 (561) 355-2201 FAX: (561) 355-6094

kmarcus@pbcgov.com

printed on recycled paper



**Department of Planning,  
Zoning & Building**

100 Australian Avenue  
West Palm Beach, FL 33406  
(561) 233-5000

Planning Division 233-5300

Zoning Division 233-5200

Building Division 233-5100

Code Enforcement 233-5500

Contractors Certification 233-5525

Administration Office 233-5005

Executive Office 233-5003

[www.pbcgov.com/pzb](http://www.pbcgov.com/pzb)



**Palm Beach County  
Board of County  
Commissioners**

Tony Masilotti, Chairman

Addie L. Greene, Vice Chairperson

Karen T. Marcus

Jeff Koons

Warren H. Newell

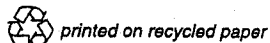
Mary McCarty

Burt Aaronson

**County Administrator**

Robert Weisman

*"An Equal Opportunity  
Affirmative Action Employer"*



June 5, 2006

Mr. Dennis Eshleman, Director  
Palm Beach County Parks and Recreation Department  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

Dear Mr. Eshleman:

As Chairman of Palm Beach County's Historic Resource Review (HRRB) I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

Harry DuBois built his home on top of a Native America midden for his bride Susan DuBois in 1898. The home's viewsheds are truly picturesque and include the Atlantic Ocean, Jupiter Inlet and the historic Jupiter Lighthouse.

The renovation of the homestead will preserve the property for future generations and will provided a great opportunity for residents and visitors to learn about the prehistory and history of the central portion of the southeast region of the state.

I look forward to working with the Parks and Recreation Department on the renovations and exhibits.

Sincerely,

A handwritten signature in black ink, appearing to read "Jud Laird".

Jud Laird  
Chairman PBC HRRB

# THE FLORIDA SENATE

Tallahassee, Florida 32399-1100

COMMITTEES:  
Rules and Calendar, *Chair*  
Commerce and Consumer Services, *Vice Chair*  
Health and Human Services Appropriations,  
*Vice Chair*  
Community Affairs  
Health Care  
Ways and Means

SENATOR KEN PRUITT  
28th District

June 14, 2006

Mr. Fred Gaske  
Bureau of Historic Preservation  
Florida Department of State  
R.A. Gray Building  
500 South Bronough Street  
Tallahassee, FL 32399-0250

Dear Mr. Gaske:

I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

Dubois Park is an 18.69 acre passive park facility, located on the south side of the Jupiter Inlet, near the Town of Jupiter. Featured on the property is the Dubois Pioneer Home, which is wood-framed, shingled two-story residence, indicative of houses constructed in the late 1800's. The home is on the National Register of Historical Places and open to the public for tours on weekends. This home was built by Harry DuBois for his bride Susan Sanders in 1898 on top of an Indian mound; which gives visitors to the building a view of the Atlantic Ocean and Jupiter Lighthouse. Some rooms, within the home are decorated with period furniture to recall an era of early pioneer life in South Florida.

The renovation of this homestead will preserve the property for future generations and will provide a great opportunity for residents and visitors to experience the livelihood of some of our earliest residents.

Sincerely,



Ken Pruitt  
District 28

REPLY TO:

- 1850 SW Fountainview Boulevard, Suite 200, Port St. Lucie, Florida 34986-3443 (772) 344-1140
- 222 S. U.S. Highway 1, Suite 211, Tequesta, Florida 33469 (561) 747-1166 FAX: (561) 624-6923
- 400 Senate Office Building, 404 South Monroe Street, Tallahassee, Florida 32399-1100 (850) 487-5088

Senate's Website: [www.flsenate.gov](http://www.flsenate.gov)

TOM LEE  
President of the Senate

CHARLIE CLARY  
President Pro Tempore



**Florida House of Representatives**  
**Representative Carl J. Domino**  
*Majority Whip*  
**District 83**

Suite 520  
3300 PGA Boulevard  
Palm Beach Gardens, FL 33410  
Tel: (561) 625-5176  
Fax: (561) 625-5178

323 The Capitol  
402 South Monroe Street  
Tallahassee, FL 32399-1300  
Tel: (850) 488-0322

June 13, 2006

Mr. Fred Gaske  
Bureau of Historic Preservation  
Florida Department of State  
R.A. Gray Building  
500 South Bronough Street  
Tallahassee, FL 32399-0250

Dear Mr. Gaske:

I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

Dubois Park is an 18.69 acre passive park facility, located on the south side of the Jupiter Inlet, near the Town of Jupiter. Featured on the property is the DuBois Pioneer Home, which is wood-framed, shingled two-story residence, indicative of houses constructed in the late 1800's. The home is on the National Register of Historical Places, and is open to the public for tours on weekends. This home was built by Harry DuBois for his bride Susan Sanders in 1898, on top of an Indian mound; which gives visitors to the building a view of the Atlantic Ocean and Jupiter Lighthouse. Some rooms, within the home are decorated with period furniture to recall an era of early pioneer life in South Florida.

The renovation of this homestead will preserve the property for future generations and will provide a great opportunity for residents and visitors to experience the livelihood of some of our earliest residents.

Best regards,

A handwritten signature in cursive script that reads "Carl J. Domino".

Carl J. Domino

CJD:ies

**Justice Council (Vice-Chair)**  
Insurance Committee

**Committees**

Finance & Tax Committee  
State Resources Council



*Dean*  
FLORIDA ATLANTIC UNIVERSITY  
DOROTHY F. SCHMIDT COLLEGE OF ARTS AND LETTERS  
**Anthropology**  
777 Glades Road • P.O. Box 3091  
Boca Raton, Florida 33431-0991

June 8, 2006

Mr. Dennis Eshleman  
Director  
Parks and Recreation Department  
Palm Beach County  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

Dear Mr. Eshleman:

I am writing in support of the Palm Beach County Board of County Commissioners' Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

I am an archaeologist on the faculty of the Department of Anthropology at Florida Atlantic University. I have worked in historic preservation for over a dozen years. I have worked for the Departments of the Army and Navy, in private industry, and with local governments and Indian tribes.

The DuBois house is a historic property of major significance to Palm Beach County and the State of Florida. The house communicates the story of early settlers in south Florida. The property is also associated with archaeological deposits of significance to our understanding of history and prehistory. The property is listed on the National Register of Historic Places.

The application requests funding to renovate the house. The funds are needed for important repairs of hurricane and insect damage, as well as for upgrading security features, electric wiring, and air conditioning. In my professional view, the application is excellent, will address important needs, and deserves funding.

Please do not hesitate to contact me for more information.

Sincerely,

Clifford T. Brown, Ph.D.  
Assistant Professor

June 5, 2006

Mr. Dennis Eshleman, Director  
Palm Beach County Parks and Recreation Department  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

Dear Mr. Eshleman:

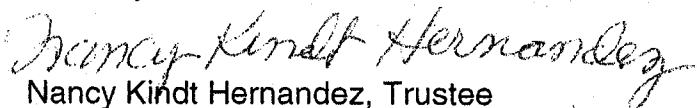
As a trustee of the Susan DuBois Kindt Trust, I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

This home was built by my great grandfather Harry DuBois for his bride Susan Sanders in 1898. The home was built on top of an Indian midden to take advantage of the view of the Atlantic Ocean and Jupiter Lighthouse. .

The renovation of my family's homestead will preserve the property for future generations and will provide a great opportunity for residents and visitors to learn about the history of this area and my family.

I look forward to working with the Parks and Recreation Department on the renovations and exhibits.

Sincerely,

  
Nancy Kindt Hernandez, Trustee



---

# TOWN OF JUPITER

---

June 8, 2006

Mr. Dennis Eshleman, Director  
Palm Beach County Parks and Recreation Department  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

Dear Mr. Eshleman:

As Mayor of the Town of Jupiter, I am writing to express my support for Palm Beach County Board of County Commissioners Historic Preservation Special Category Grant fund application for the restoration of the DuBois Pioneer Home.

This home was built by Harry DuBois for his bride Susan DuBois in 1898 atop a "midden" or Indian mound which offers visitors to the building a view the ocean as well as the Jupiter Lighthouse. The home is on the National Register of Historical Place and some of the rooms within the home are decorated with period furniture to recall an era of early pioneer life in South Florida.

The house remains as a major landmark at the mouth of the Jupiter Inlet and renovation of the DuBois Pioneer Home will preserve the property for future generations as well as provide a great opportunity for residents and visitors to learn about the history of this area. In a state where so many residents are "from elsewhere," it is important that we preserve landmarks to help instill a sense of community and pride.

This project will be renovated in two phases. Phase one will include repair of the roof, windows, siding and stabilization of the Indian midden. Phase two will include renovation of the interior and replacement of the mechanical systems.

Thank you for your favorable consideration of this application.

Sincerely,

Karen J. Golonka  
Mayor



LOXAHATCHEE  
*river*  
HISTORICAL SOCIETY

DuBois Pioneer Home  
Jupiter Inlet Lighthouse  
Loxahatchee River Historical Museum

June 6, 2006

Mr. Dennis Eshleman, Director  
Palm Beach County Parks & Recreation Department  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

Dear Mr. Eshleman:

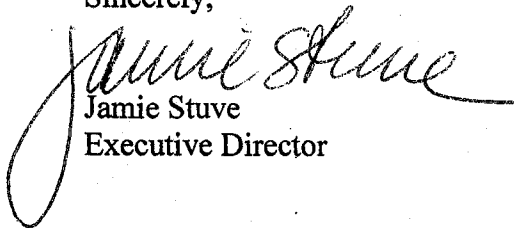
I am delighted to learn that Palm Beach County Parks and Recreation Department is applying for a Historic Preservation Special Category Grant for the restoration of the DuBois Pioneer Home. As you know, the Loxahatchee River Historical Society was instrumental in getting this unique home, and the Native American shell mound upon which it was built, listed on the National Register of Historic Places in 1985. We continue to open two rooms of the home to the general public as a house museum, with volunteer tour guides sharing stories of the vibrant riverine past of our area to our weekly visitors.

The immediate preservation of this exceptional waterfront homestead is critical. Although the home withstood many severe hurricanes in the past, including 1928 and 1949, recently Hurricanes Frances, Jeanne and Wilma passed directly over the Jupiter Inlet and the DuBois Home, further weakening the structure. A special categories award this year will insure a proper restoration for the oldest extant home in northern Palm Beach County.

I have personally guided many school tours at this site, only to discover that most of the children have never experienced the interior of a pioneer house! Our guides help them to imagine life along the Loxahatchee River in the early 1900s, and to discover the remarkable resourcefulness of the early settlers, in the hopes that this will ignite pride in their own capacity for self-sufficiency.

The Loxahatchee River Historical Society looks forward to the day when the entire DuBois Pioneer Home is restored and open to the public. Preserving this rare homestead safeguards much more than a building. It stands as reminder of the extraordinary heritage of the Loxahatchee River region.

Sincerely,

  
Jamie Stuve  
Executive Director

805 North U.S. Highway One, Jupiter, Florida 33477  
561.747.6639 PHONE | 561.575.3292 FAX | visit@LRHS.org | www.jupiterlighthouse.org

Joan Hudiburg  
197 Commodore Drive  
Jupiter, Florida 33477

June 9, 2006

Mr. Dennis Eshleman, Director  
Palm Beach County Parks & Recreation Department  
2700 6<sup>th</sup> Avenue South  
Lake Worth, FL 33461

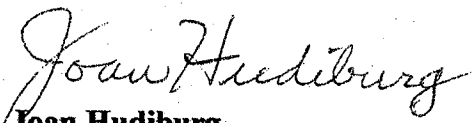
Dear Mr. Eshleman:

I am writing to you at this time to encourage your efforts for of a Historic Preservation Special Category Grant for the restoration of the DuBois Pioneer Home. This home is very unique for Florida and especially for Palm Beach County. As a long time Florida resident ( since 1952) I have lived in many parts of South Florida and being interested in history and the natural geography I have visited many historic sites. When I first saw the DuBois Park and the Pioneer Home, I was amazed at the fact that it is on the Jupiter Inlet, with a view of the Atlantic Ocean , the Loxahatchee River, and the Jupiter Lighthouse ..... and still standing on it's original location!

As a Docent for the LRHS I have guided many tours at the home for adults & school children. The 4<sup>th</sup> grade students who study Florida history find a real life site of the early pioneer families. Many people are amazed that Jonathan Dickinson's ship-wrecked group were first kept captive at this site and wrote one of the first descriptions of the early Indians, the Jeagas.

This house needs restoration very badly. We are hoping that grants will be forthcoming for the needed work and I respectfully request that you support the grant request.

Yours very truly,



Joan Hudiburg  
Docent, Loxahatchee River Historical Society

**Joan Hudiburg**

---

**From:** <TFF111@aol.com>  
**To:** <letters@pbpost.com>  
**Cc:** <johudi@BellSouth.net>  
**Sent:** Wednesday, August 17, 2005 4:56 PM  
**Subject:** Letter to the editor about The DuBois House

Dear Editor and Readers:

Recently I had the pleasure of visiting The Dubois Pioneer Home in Jupiter, Florida. Much to my surprise I was welcomed and given a tour of the home by the actual granddaughter of the man who built the home in 1898, Mr. Harry DuBois. She has many happy memories of when her family lived there, and much knowledge of what the neighborhood was like before it became a County Park in 1971. This beautiful old home from the turn of the century is a rare find in Florida. The DuBois House sits on a Native American shell mound built up over hundreds of years. You can actually see the oyster shells and fish bones that compose the mound under the steps leading to the house. The Loxahatchee River Historical Society operates this home, the Jupiter Inlet Lighthouse and the Loxahatchee River Historical Museum. They have recently restored the lighthouse and I hope the DuBois House is next. The home is a dusty jewel in the tiara of the treasure coast, it would be a shame if it was allowed to deteriorate further.

Virginia Flood  
P.O. Box 277  
Pawling, NY 12564  
(845) 855-0395

6/9/2006

## THE DUBOIS PIONEER HOME

Harry DuBois built his home here in 1898. It is the oldest house in Palm Beach County still on its original site. The mound on which it sits is itself of great historical importance. Tours are offered by the Loxahatchee River Historical Society (for days and times and for group reservations telephone 561-747-6639).

The DUBOIS FAMILY traces its ancestry to northwestern France. Harry's ancestors were Huguenois (French Protestants) who fled to The Netherlands and Germany to escape the religious persecutions of Louis XIV. Harry's forefather, Louis DuBois, immigrated in 1661 to what is today New York state and settled in a Dutch-speaking community. Here his Dutch neighbors rendered his French name "Dubois," which pronunciation his descendants adopted.

**HARRY DUBOIS** was born February 10, 1871, on a farm in Holmdel, Monmouth County, New Jersey. He came to Florida in the winter of 1887 to work in his cousin's orange groves. When Henry Flagler brought his Florida East Coast Railway south and began construction of the Royal Poinciana Hotel in Palm Beach, Harry saw the possibilities for work and bought a boat. He hauled lumber and other supplies to Palm Beach. During these voyages he sailed into the Jupiter Inlet, liked the location, and in 1892 bought 20 acres to grow pineapples. He also joined Captain Carlin's crew at the Jupiter Life Saving Station. In February 1898, Harry and the new school teacher, Susan Sanders, met on a blind date. The evening was dark, and it was not until they had rowed over to the Jupiter Lighthouse and climbed the 105 steps to the lantern that they got a good look at each other. For Harry, it was love at first sight. Susan wanted to live near the inlet, so Harry bought the present site and built her this house. They were married September 15, 1898, and had four children, all born at home: John (1899-1937), Henry (1901-97), Anna (1903-83), and Neil (1904-1990). Harry worked at many jobs: raising oranges, vegetables, bananas, and ferns; hauling freight by boat; and ocean-net fishing. His most profitable venture was his 600 palmetto-honey-producing bee hives. Harry died of pneumonia, a side-effect of his pernicious anemia, on March 14, 1924, aged 53.

**SUSAN MARGARET SANDERS DUBOIS** was born in Kansas, January 29, 1876. After graduating from a normal school in Emporia, she came to Florida in 1897 to teach. Her father and brother had already established a construction business in West Palm Beach. She taught first near Stuart for \$40 a month, less \$10 for room, board, and laundry. Six months later, when the Jupiter teacher was transferred to Stuart (reputedly as a punishment for some infraction), Susan took her place. After her marriage, Susan augmented the family's income by packing large amounts of tomatoes and by selling her prize-winning guava jelly to the hotels in Palm Beach. She had a cow and also raised chickens and ducks for sale. To keep the hawks from stealing her birds, Susan became a crack shot with a double-barreled shotgun. Harry paid her 25¢ for every one of his fishing nets that she mended. She wrote that she and her family "lived much better than the average crackers [Florida settlers]." Late in 1925 Susan moved to West Palm Beach to care for her 84-year-old father. She died there June 9, 1977, aged 101½.

**THE HILL** is one of the last remnant coastal shell mounds, or middens, in southeast Florida. This 20-foot midden is the result of accumulations over hundreds of years of oyster and turtle shells and fish bones that were heaped up here after the natives had feasted. On top of this mound, the Indians built pole and thatch structures for ceremonial and religious purposes. Humans occupied this site from at least 500 B.C. Ponce de León landed here in 1513, erected a cross, and named the inlet Santa Cruz. Pedro Menéndez, the founder of St. Augustine, explored the area in 1565 and built a fort a year later. In 1696, the Jeaga Indians held Englishman Jonathan Dickinson and his party prisoners here for three days. Dickinson in his *Journal* identifies this mound as the site of the village of "Hoe Bay." Much later, the area was known locally as Stone's Point, after a sea captain who was marooned here in his ship when the mouth of the inlet silted closed. Harry DuBois purchased this property in 1898 and called it "the Banana Patch." In 1917, Harry sold a large portion of this originally 600-foot long midden (now only 90 feet) for landfill in order to supplement his income.

**THE HOUSE** reflects Harry's preference for the type of dwelling he had seen as a boy along the New Jersey shore. It is built of Florida pine with cypress shingles (replaced by cedar) and was originally a single story with a parlor and dining room (now one room), and bedroom. The wall boards are fastened tongue in groove, and the inner exterior walls are set on a diagonal to withstand hurricane winds. The kitchen, wash house, chicken coop, privy, and other dependencies were separate buildings but have not been preserved. East of the bedroom is the large rain-storing cistern that was the family's only source of potable water because the water in the well was too brackish to drink. In 1903, Harry added an unscreened porch and a second story with three bedrooms and an indoor bathroom, and in 1919, his son John wired the house and installed a Koller Electric Plant operated by a combustion engine generator. After Harry's death, Susan moved to West Palm Beach and rented the house for income, usually to school teachers. Son John and his wife, Bessie Wilson DuBois, who operated a restaurant and fishing camp nearby, looked after the property. The 1928 hurricane flooded the upstairs, and John had to drill holes in the floor to drain off the water. During the 1930s the house was a retreat for underprivileged boys or girls, who came for two weeks of fishing. Between 1935 and 1941, the house was leased to Dr. Charles Andrews, a retired Yale history professor, and his wife who brought along their maid and chauffeur and renovated and refurbished the house. Dr. Andrews' fascination with the fact that the Jeaga had held Jonathan Dickinson captive on this site resulted in his publishing an edition of Dickinson's *Journal*. To accommodate the Andrews, John built the fireplace from blocks of coquina that he found on the beach. In 1950, Susan sold the house to Mr. and Mrs. Leo Vickers of Ocean City, New Jersey, who had previously rented it. In 1971-72, the house was purchased by Palm Beach County. The DuBois Pioneer Home Museum opened in 1977, and in 1985 the House along with the Jupiter Inlet Historic and Archaeological Site was placed on the *National Register of Historic Places*.

1. Entrance to DuBois Park
2. Front Entrance to DuBois Pioneer Home (1)
3. Front Entrance to DuBois Pioneer Home (2)
4. Front Entrance to DuBois Pioneer Home (3)
5. Front Entrance to DuBois Pioneer Home (4)
6. Jupiter Inlet Midden Signage
7. Southside of Pioneer Home (1)
8. Southside of Pioneer Home (2)
9. Southside of Pioneer Home (3)
10. South Face of Pioneer Home
11. Rear Entrance to DuBois Park
12. Southeast Corner of Pioneer Home
13. Southeast Corner of Pioneer Home
14. West Portion (rear) of Pioneer Home (1)
15. West Portion (rear) of Pioneer Home (2)
16. Northwest Corner of Pioneer Home (1)
17. Northwest Corner of Pioneer Home (2)
18. Front Porch located on Northeast corner of Pioneer Home
19. Exterior Building (rear) of Pioneer Home
20. Interior Roof of Pioneer Home
21. Pioneer Home Museum Interior Bedroom (1)
22. Pioneer Home Museum Interior Bedroom (2)
23. Pioneer Home Museum Interior Living Room (1)
24. Pioneer Home Museum Interior Living Room (2)



1. Entrance to DuBois Park



2. Front Entrance of DuBois Pioneer Home (1)

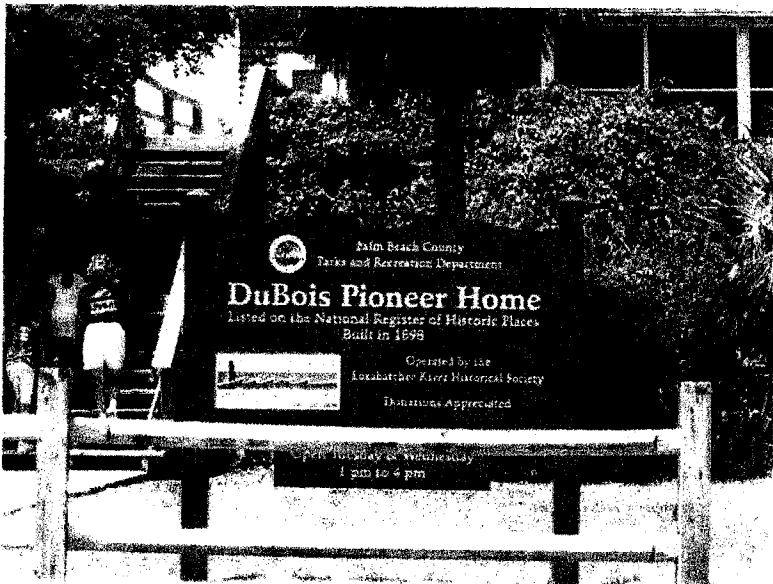


3. Front Entrance of DuBois Pioneer Home (2)

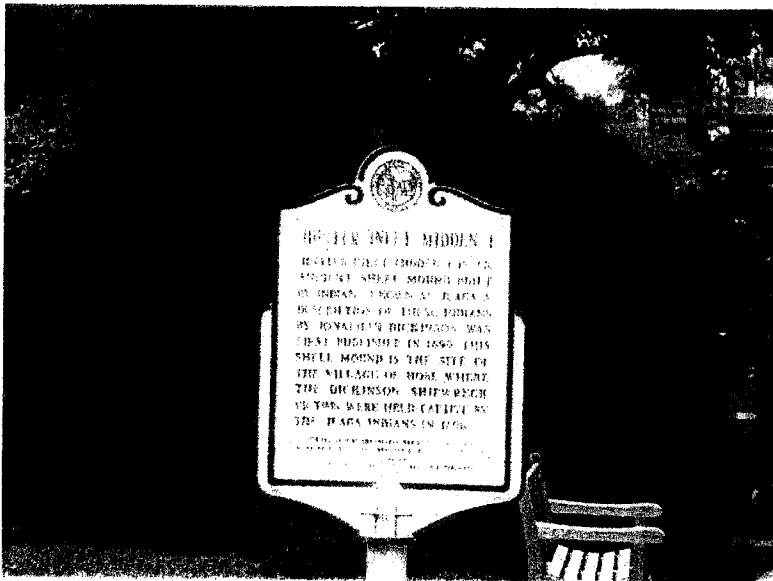




4. Front Entrance of DuBois Pioneer Home (3)



5. Front Entrance of DuBois Pioneer Home (4)



6. Jupiter Inlet Midden Signage





7. Southside of Pioneer Home (1)



8. Southside of Pioneer Home (2)



9. Southside of Pioneer Home (3)



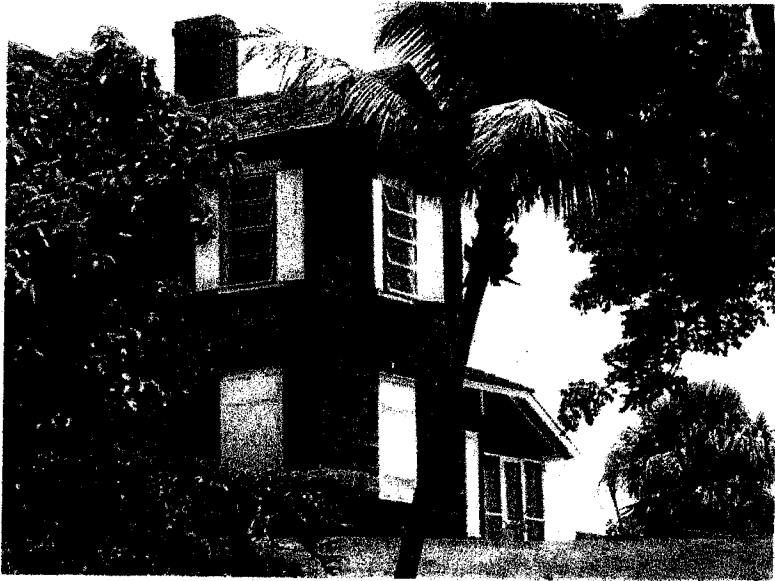
10. South Face of Pioneer Home



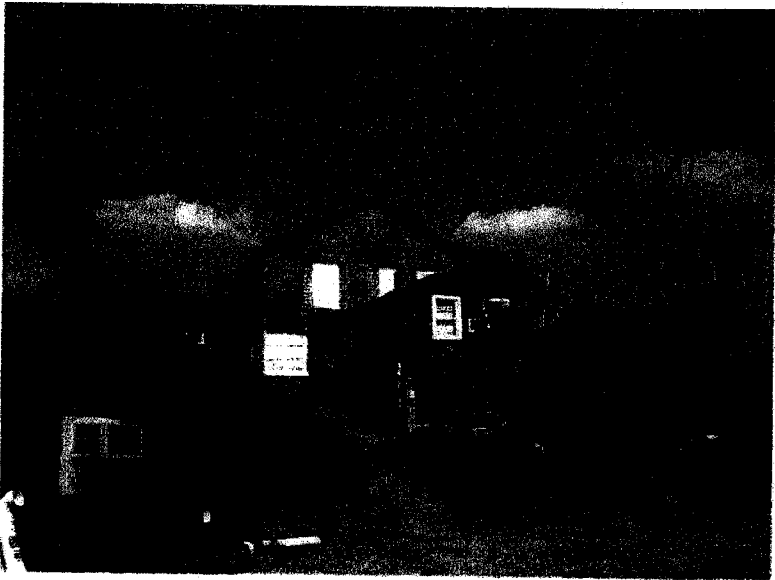
11. Rear Entrance to DuBois Park



12. Southeast Corner of Pioneer Home



13. Southeast Corner of Pioneer Home



14. West Portion (rear) of Pioneer Home (1)



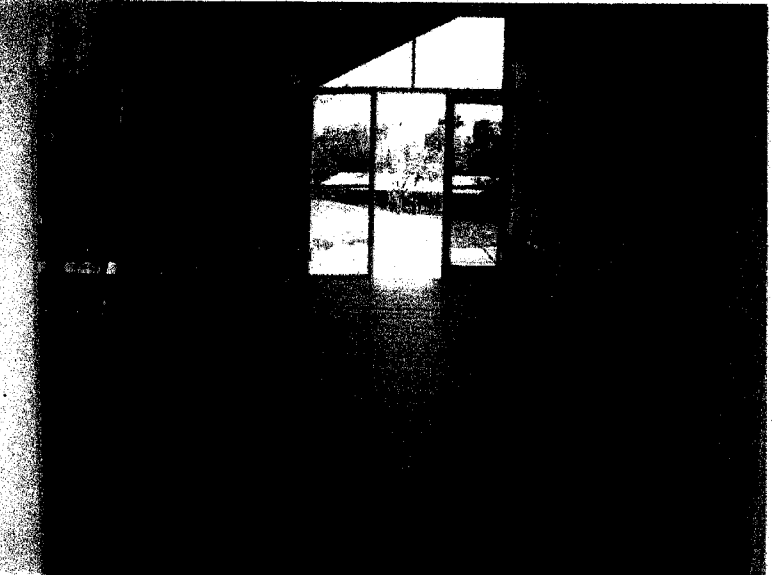
15. West Portion (rear) of Pioneer Home (2)



16. Northwest Corner of Pioneer Home (1)



17. Northwest Corner of Pioneer Home (2)



18. Front Porch located on Northeast  
Corner of Pioneer Home



19. Exterior Building (rear) of Pioneer Home



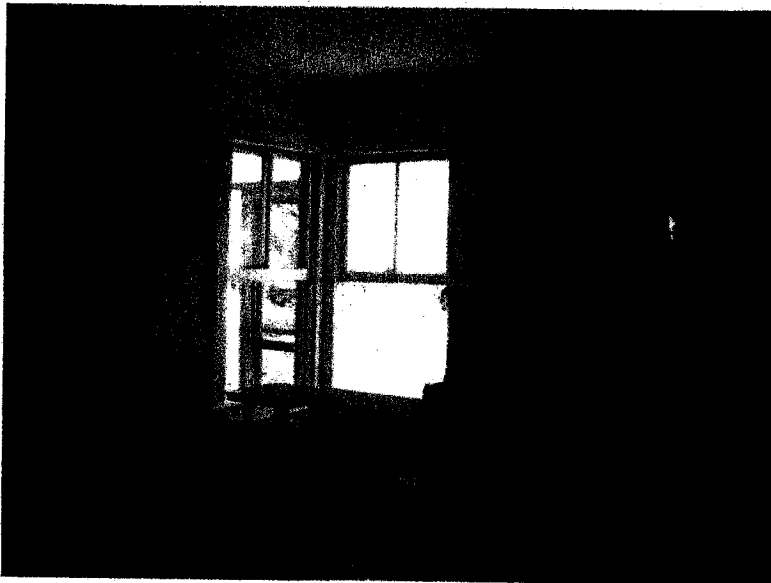
20. Interior Roof of Pioneer Home



21. Pioneer Home Museum Interior  
Bedroom (1)



22. Pioneer Home Museum Interior  
Bedroom (2)



23. Pioneer Home Museum Interior  
Living Room (1)

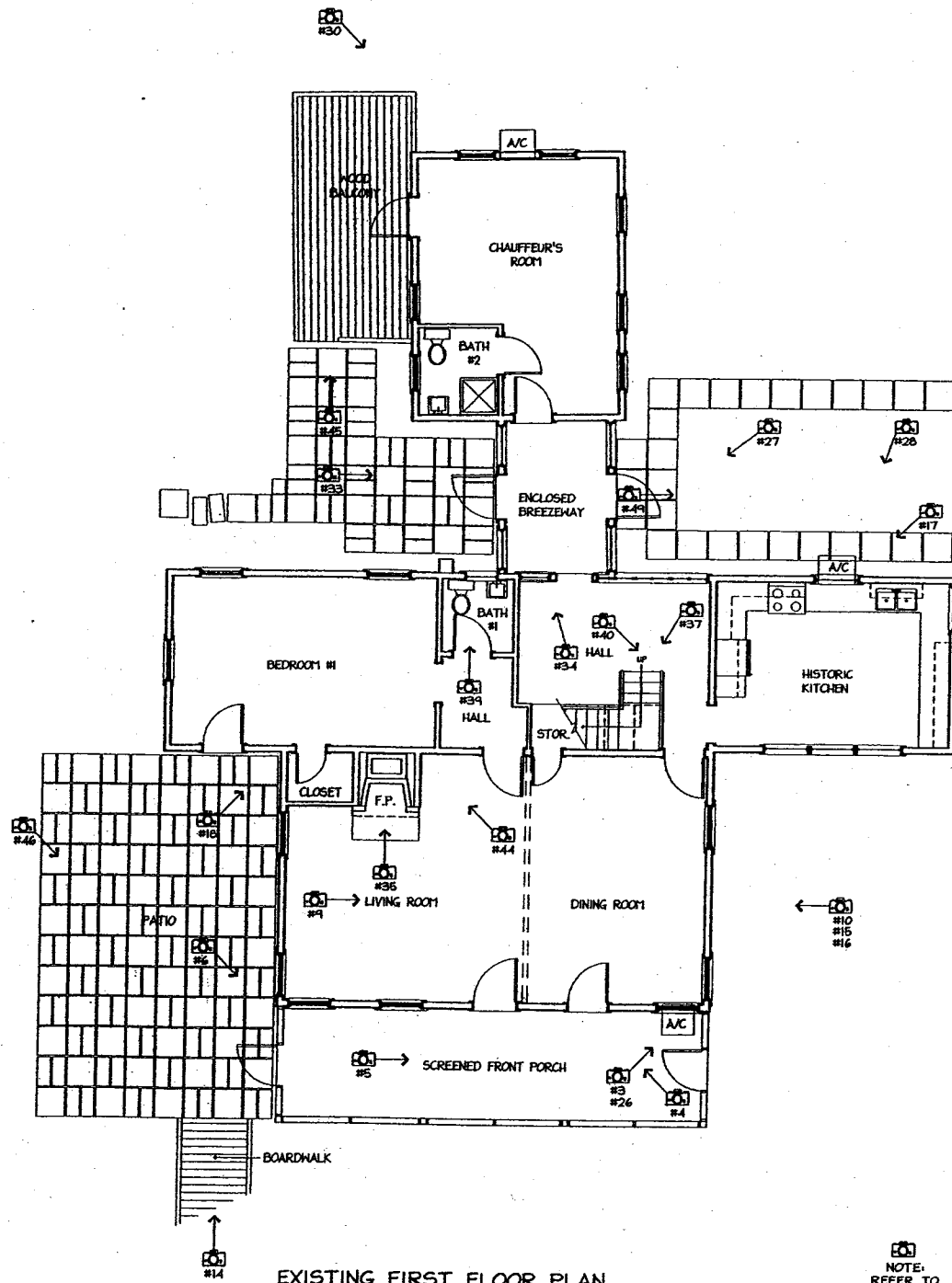


24. Pioneer Home Museum Interior  
Living Room (2)

**DITIGAL CD  
ENCLOSED**

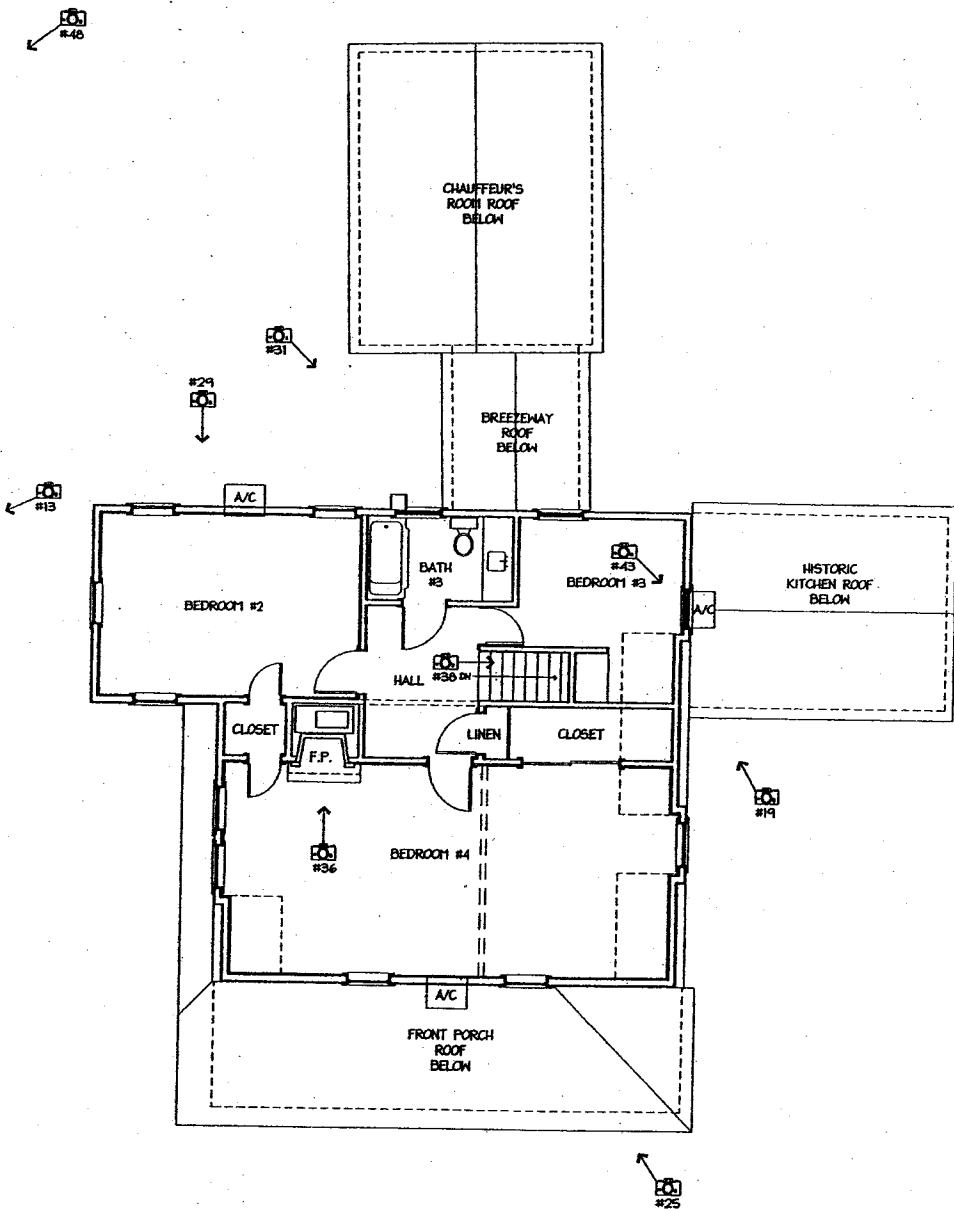






EXISTING FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE:  
REFER TO  
SPECIFICATIONS  
FOR PHOTOS



EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME  
JUPITER, FLORIDA

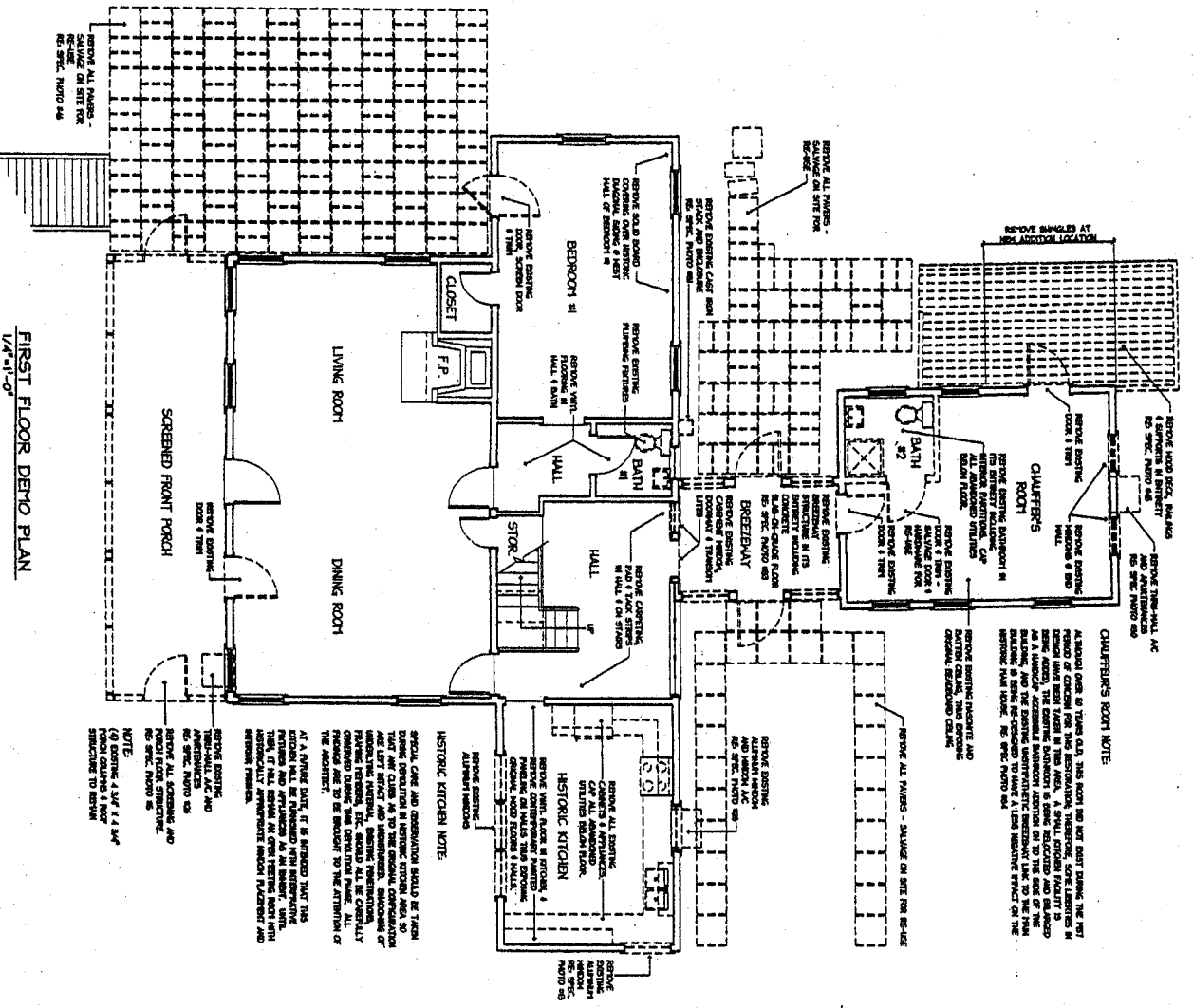
410 Angelo Street  
Boynton Beach, Florida 33440  
Telephone: (407) 399-1347  
Facsimile: (407) 399-8772  
Florida License: JAC000022

Bender & Associates  
ARCHITECTS  
P.A.

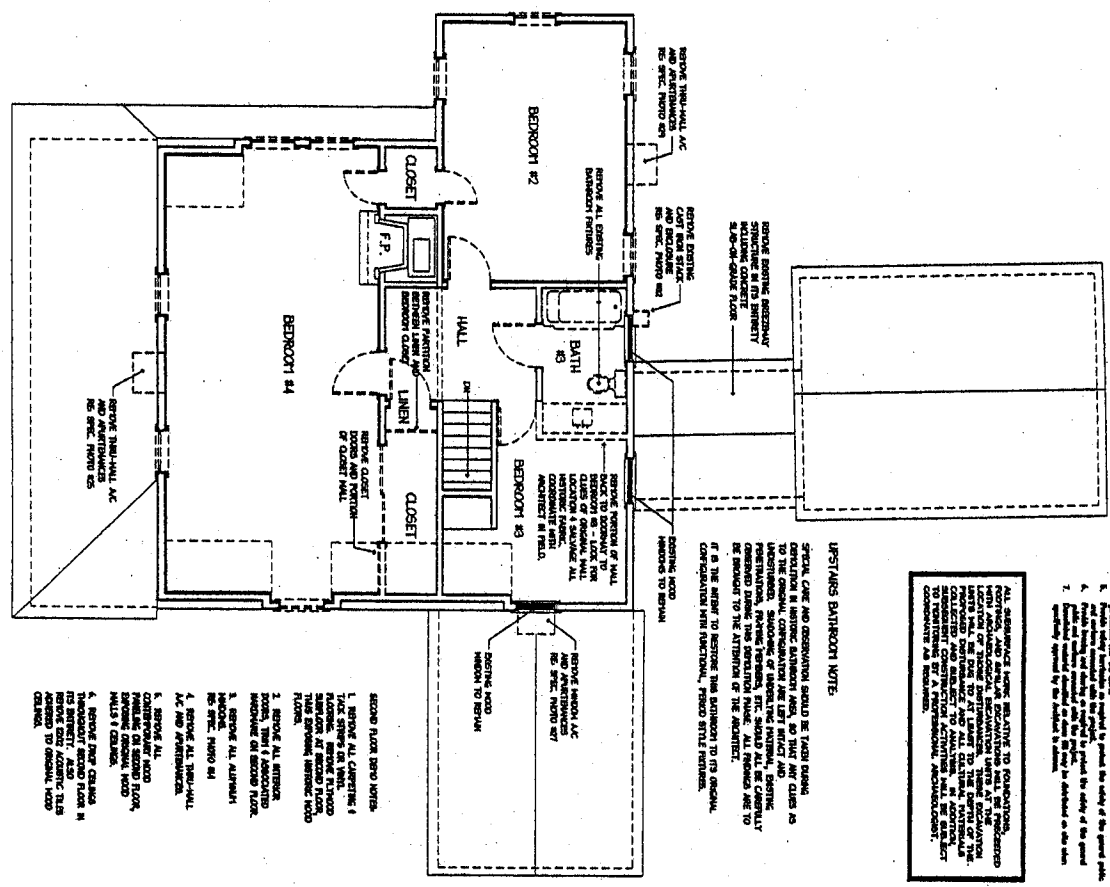
Project #: 014

Date: 9/30/03

A-2



FIRST FLOOR DEMO PLAN  
1/4"=1'-0"



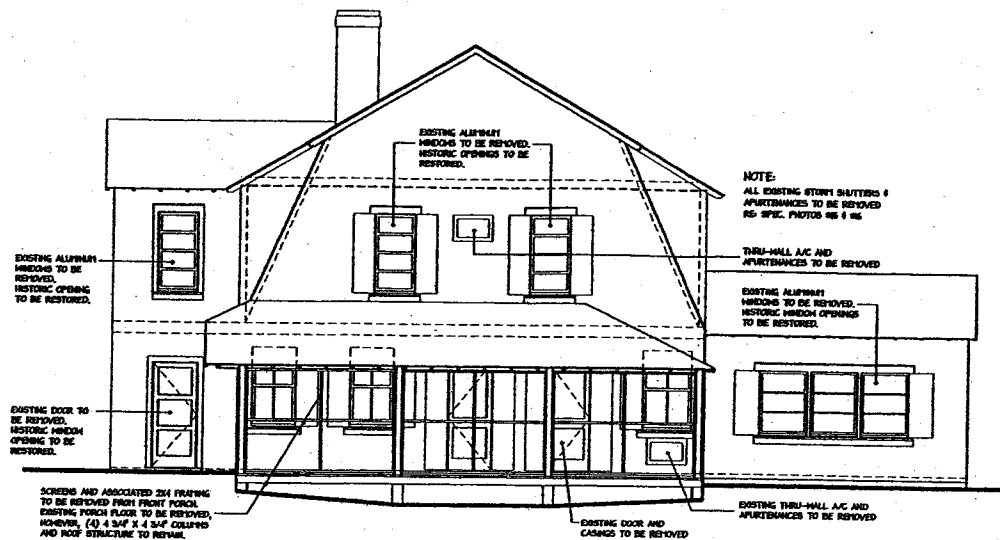
SECOND FLOOR DEMO PLAN  
1/4"=1'-0"

**DEMOLITION NOTES**

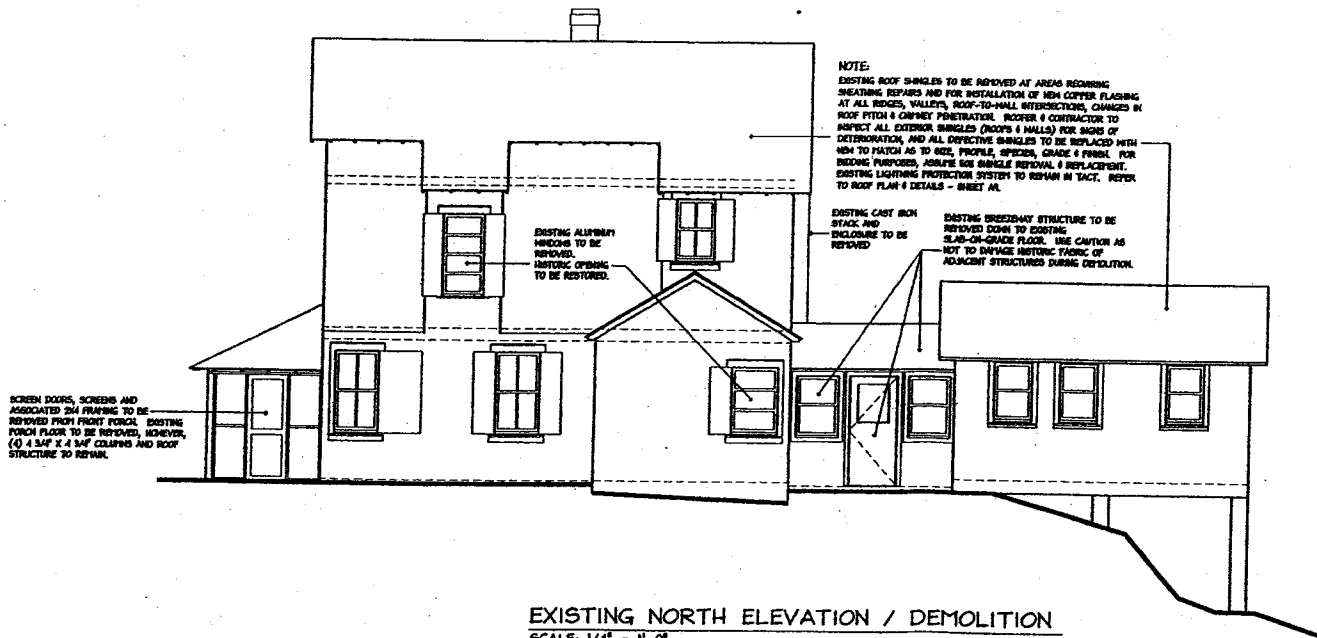
1. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
2. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
3. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
4. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
5. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
6. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
7. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
8. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
9. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.
10. REMOVE ALL EXISTING INTERIOR PARTITIONS AND WALLS TO BE DEMOLISHED.

\* NOTE: REFER TO EXISTING EXTERIOR ELEVATIONS FOR ADDITIONAL DEMO INFORMATION. COORDINATE THE EXTENT OF SELECTIVE DEMOLITION WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK.

<p><b>A-3</b> 3 OF 19</p>	<p>DATE: 09/01/05</p>	<p>410 Bayview Street Jupiter, Florida 33457 Phone: 561-746-2277 FAX: 561-746-2277 Project Number: 05-001</p>	<p><b>Bender &amp; Associates</b> ARCHITECTS</p>	<p>HISTORIC RESTORATION OF THE DUBOIS PIONEER HOME JUPITER, FLORIDA</p>		
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EXISTING EAST ELEVATION / DEMOLITION  
SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION / DEMOLITION  
SCALE: 1/4" = 1'-0"

\* NOTE: REFER TO ADDITIONAL DEMO NOTES - SHEET A3. COORDINATE THE EXTENT

HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME  
JUPITER, FLORIDA

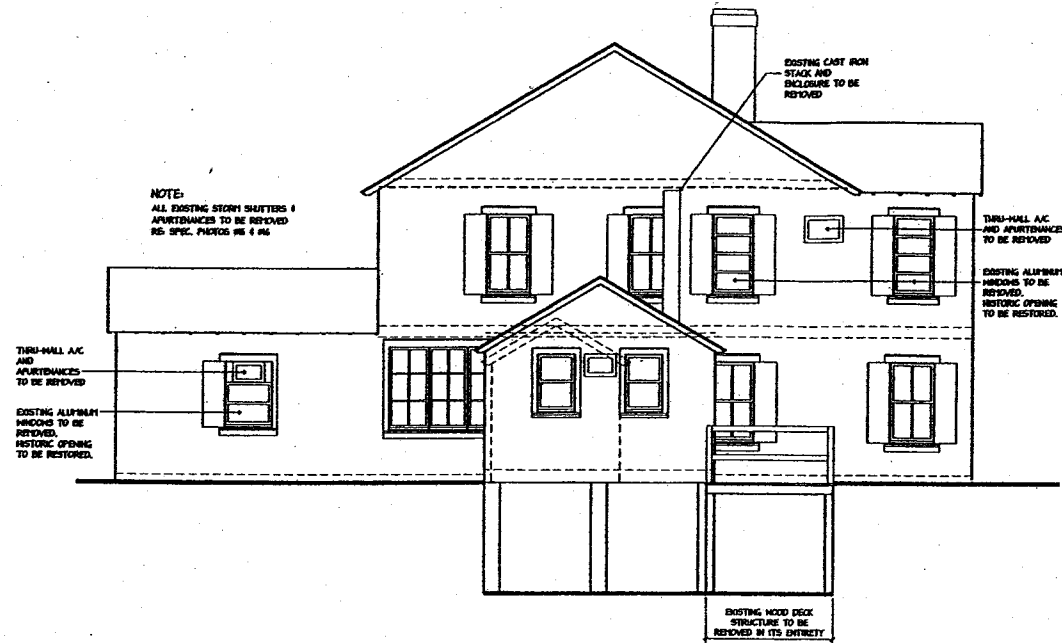
110 Angela Street  
Jupiter, Florida 33458  
Tel: (561) 744-1188  
Fax: (561) 744-1187  
Florida Home ARCHITECTS

Bender & Associates  
ARCHITECTS  
P.A.

Project #: 014

Date: 9/30/03

A-4

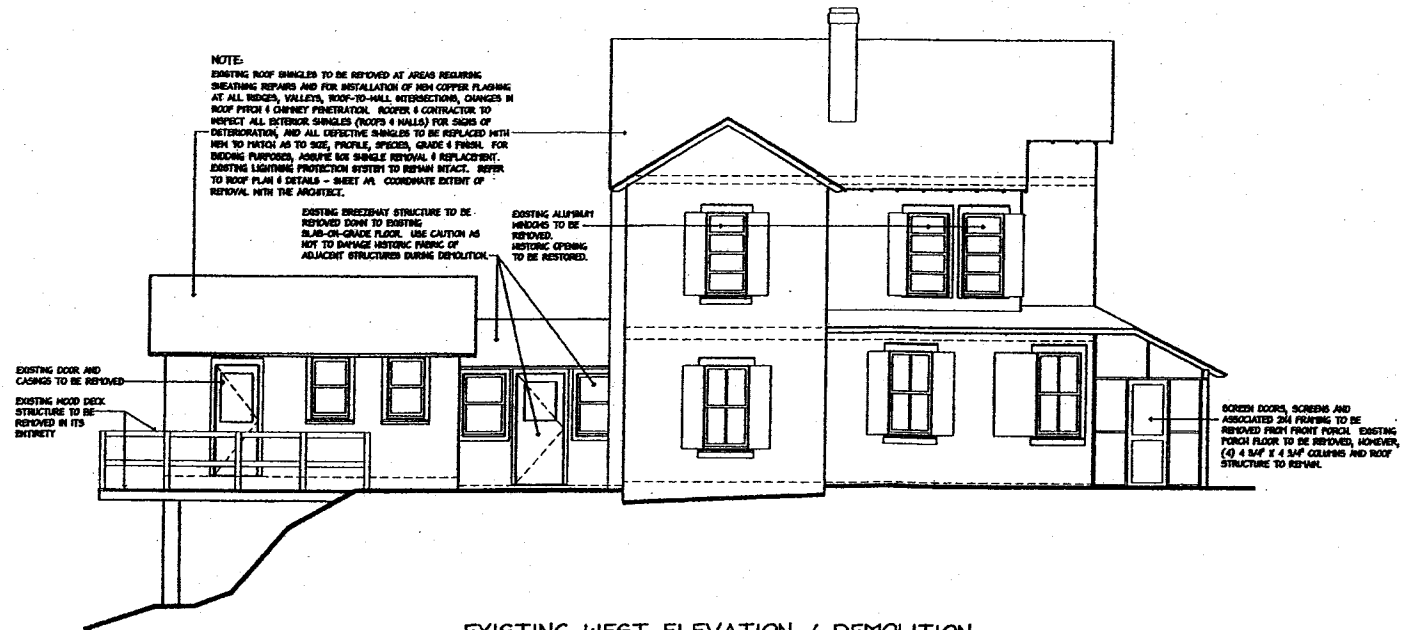


NOTE:  
ALL EXISTING STORM SHUTTERS & APERTANCES TO BE REMOVED. RE: SPEC. PHOTOS IN 4 1/2

THRU-HALL A/C AND APERTANCES TO BE REMOVED

EXISTING ALUMINUM HOODS TO BE REMOVED. HISTORIC OPENING TO BE RESTORED.

EXISTING SOUTH ELEVATION / DEMOLITION  
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION / DEMOLITION  
SCALE: 1/4" = 1'-0"

\* NOTE: REFER TO ADDITIONAL DEMO NOTES - SHEET A3. COORDINATE THE EXTENT OF SELECTIVE DEMOLITION WITH THE ARCHITECT PRIOR TO COMMENCING THE WORK

HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME  
JUPITER, FLORIDA

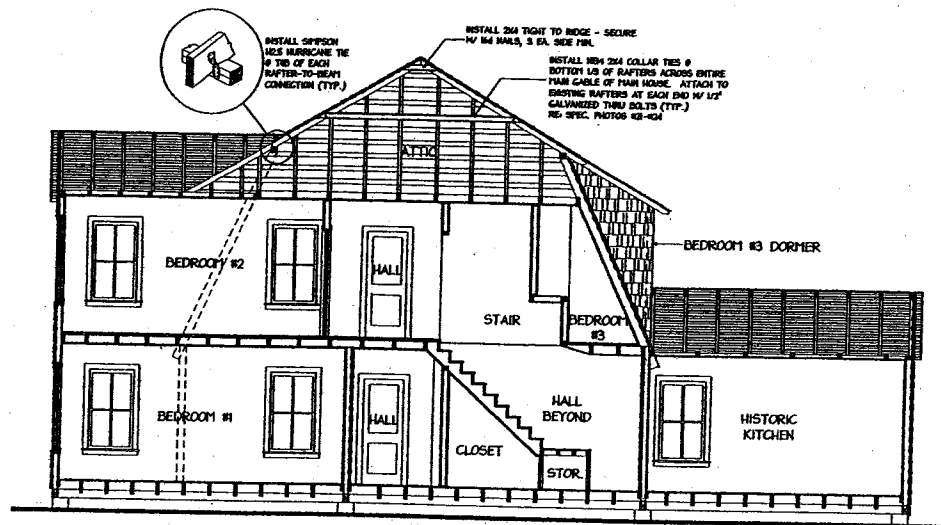
410 Angela Street  
Key West, Florida 33508  
Telephone: (305) 296-1247  
Facsimile: (305) 296-2227  
Florida License: ALA0002822

Bender & Associates  
ARCHITECTS  
P.A.

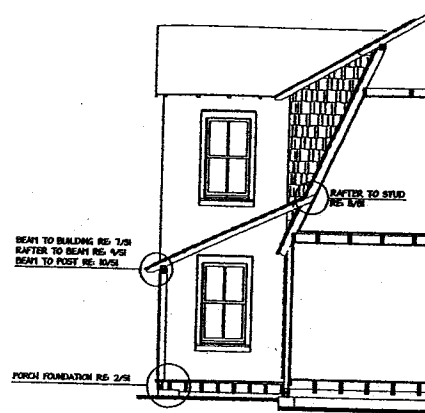
Project #: 014

Date: 9/30/03

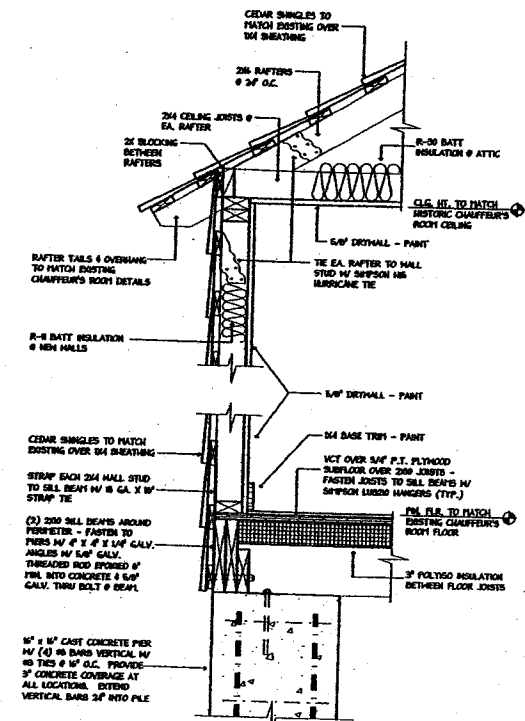
A-5



**A** BUILDING SECTION  
A6 1/4"=1'-0"



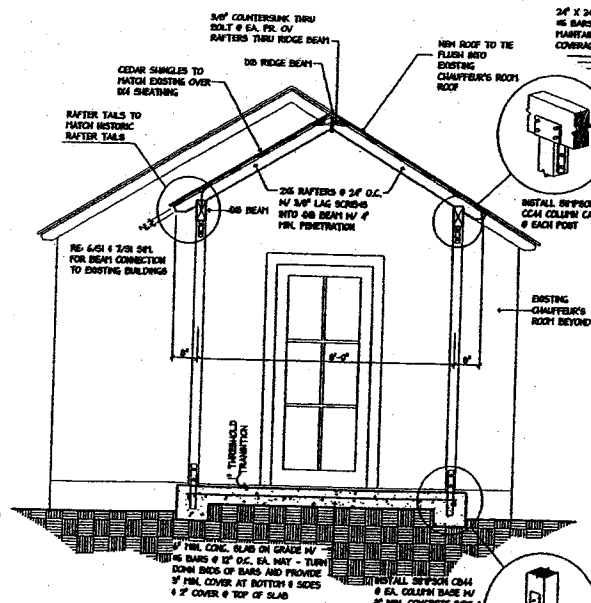
**B** SECTION THRU PORCH  
A6 1/4"=1'-0"



**C** SECTION THRU BREEZEWAY  
A6 1/2"=1'-0"



**D** SECTION THRU BREEZEWAY  
A6 1/4"=1'-0"



**E** SECTION THRU H.C. BATH ADDITION  
A6 1/2"=1'-0"

NOTE: THIS PROJECT IS A HISTORIC RESTORATION AND ALL WORK MUST COMPLY WITH THE SECRETARY OF THE INTERIORS STANDARDS AS APPROVED BY THE STATE OF FLORIDA. ALL SITE WORK THAT INVOLVES THE PENETRATION OR MOVEMENT OF EXISTING STRUCTURE...

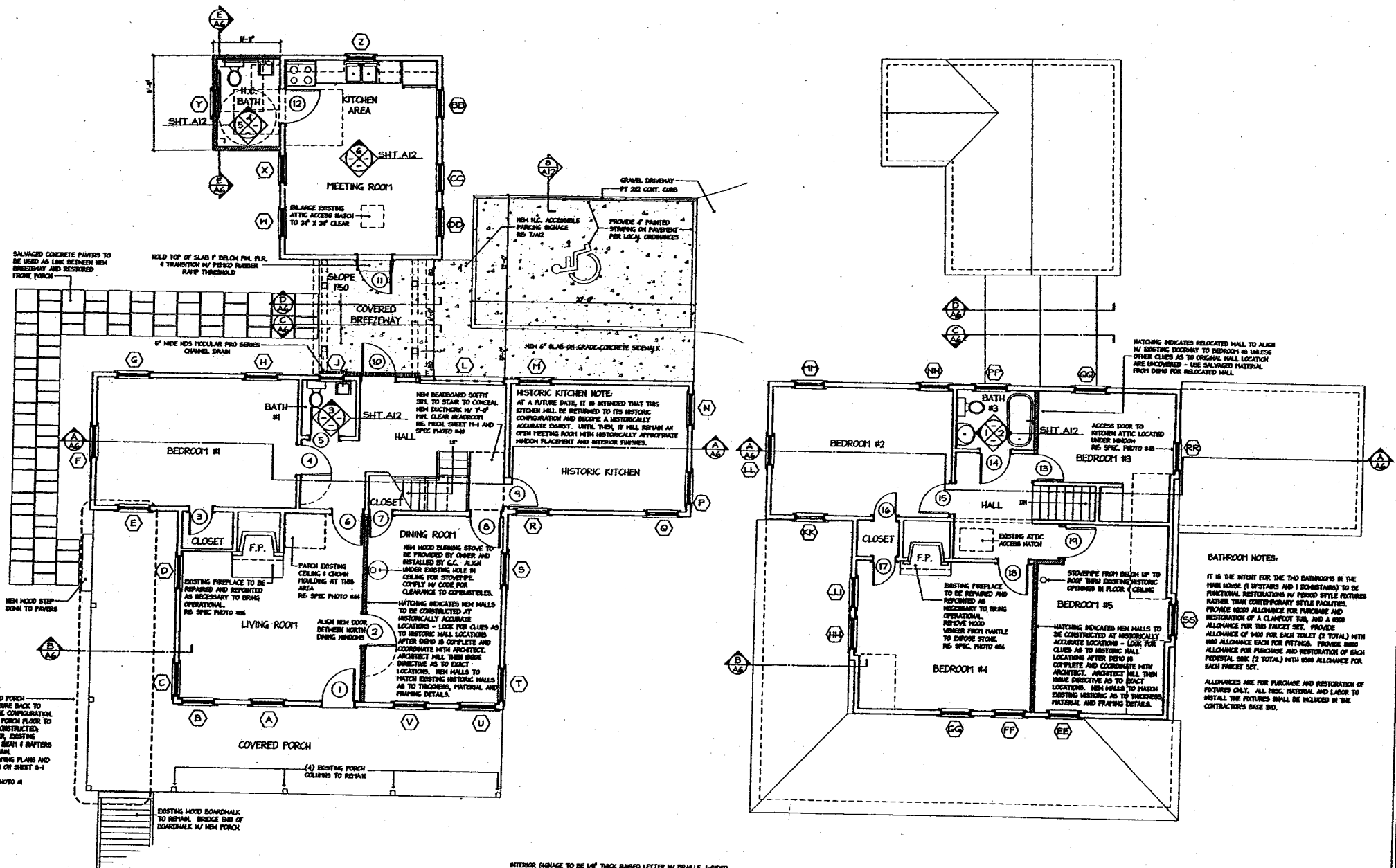
HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME  
JUPITER, FLORIDA

410 Angela Street  
Jupiter, Florida 33404  
Phone: (407) 725-1517  
Fax: (407) 725-3722  
Florida License ALC002022

Bender & Associates  
ARCHITECTS  
P.A.

Project #: 0108  
Date: 9/30/03

**A-6**



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

INTERIOR SIGNAGE TO BE 1/2" THICK RAISED LETTER W/ BRASS, 1-GRID, MARRIAGE PLASTIC LAMINATE, TWO-COLOR, NON-MAR, NON-STATIC, FIRE RETARDANT, 1/4" RADIUS CORNER TREATMENTS & NON-GLARE SURFACES. FOR BEDDING PURPOSES, ASSUME A TOTAL OF (8) SIGNS INCLUDING BUT NOT LIMITED TO:

- (1) 11"X11" UNISEX ACCESSIBLE RESTROOM SIGN,
- (2) 8"X8" "NO SMOKING" SIGN,
- (3) 20"X20" "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" SIGN, &
- (4) 20"X20" "DO NOT STORE FLAMMABLE MATERIALS" SIGN.

FINAL DESIGN & COLOR TO BE SELECTED BY ARCHITECT.

**BATHROOM NOTES:**

IT IS THE INTENT FOR THE TWO BATHROOMS IN THE MAIN HOUSE (1 UPSTAIRS AND 1 DOWNSTAIRS) TO BE FUNCTIONAL. RESTORATIONS W/ PERIOD STYLE FEATURES RATHER THAN CONTEMPORARY STYLE FACILITIES. PROVIDE \$2000 ALLOWANCE FOR PURCHASE AND RESTORATION OF A CLAWFOOT TUB, AND A \$500 ALLOWANCE FOR THIS PACKET SET. PROVIDE ALLOWANCE OF \$400 FOR EACH TOILET (2 TOTAL) WITH \$600 ALLOWANCE EACH FOR FITTINGS. PROVIDE \$800 ALLOWANCE FOR PURCHASE AND RESTORATION OF EACH PEDISTAL SINK (2 TOTAL) WITH \$600 ALLOWANCE FOR EACH PACKET SET.

ALLOWANCES ARE FOR PURCHASE AND RESTORATION OF FIXTURES ONLY. ALL FIXTURE MATERIAL AND LABOR TO INSTALL THE FIXTURES SHALL BE INCLUDED IN THE CONTRACTORS BAGE BID.

**HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME**  
JUPITER, FLORIDA

410 Ansel Street  
Boynton Beach, Florida 33440  
Phone: (561) 368-1282  
Fax: (561) 368-1282  
Florida Home A1002422

Bender & Associates  
**ARCHITECTS**  
P.C.

Project #: 014

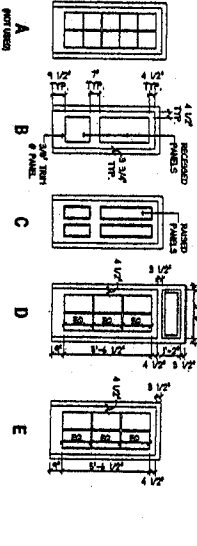
Date: 9/30/03

**A-7**

### DOOR SCHEDULE

NO.	TYPE	SIZE	FINISH	GLASS	FRAME	SWITCHES	REMARKS
1	C	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
2	D	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
3	E	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
4	F	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
5	G	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
6	H	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
7	I	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
8	J	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
9	K	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
10	L	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
11	M	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
12	N	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
13	O	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
14	P	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
15	Q	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
16	R	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
17	S	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
18	T	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
19	U	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
20	V	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
21	W	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
22	X	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
23	Y	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
24	Z	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
25	AA	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
26	AB	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
27	AC	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
28	AD	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
29	AE	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
30	AF	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
31	AG	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
32	AH	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
33	AI	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
34	AJ	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
35	AK	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
36	AL	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
37	AM	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
38	AN	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
39	AO	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
40	AP	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
41	AQ	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
42	AR	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
43	AS	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR

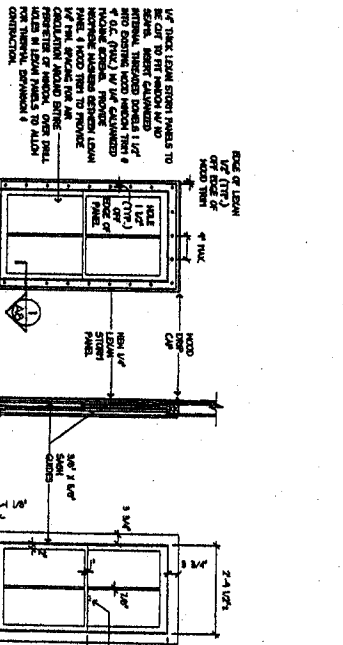
NOTE:  
 1. DOOR TO BE SET IN EXISTING WALL. SET IN EXISTING WALL. TO MATCH THE EXISTING WALL.  
 2. DOOR TO BE SET IN EXISTING WALL. SET IN EXISTING WALL. TO MATCH THE EXISTING WALL.  
 3. DOOR TO BE SET IN EXISTING WALL. SET IN EXISTING WALL. TO MATCH THE EXISTING WALL.  
 4. SALVAGED DOOR & HARDWARE RECLAIMED FROM OLD GARAGE DOOR BARN.



**HARDWARE SCHEDULE:**  
 REFER TO SPECIFICATIONS FOR HARDWARE DETAILS.

### WINDOW SCHEDULE

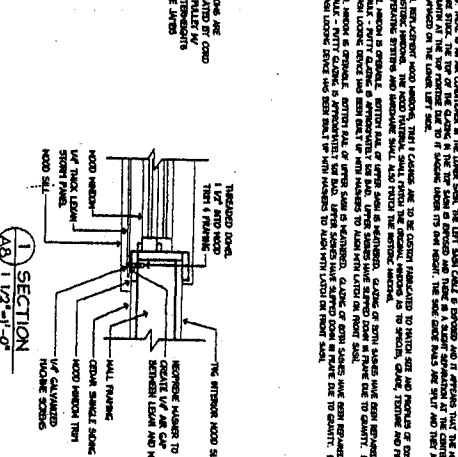
NO.	TYPE	SIZE	FINISH	GLASS	FRAME	SWITCHES	REMARKS
1	A	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
2	B	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
3	C	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
4	D	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
5	E	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
6	F	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
7	G	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
8	H	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
9	I	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
10	J	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
11	K	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
12	L	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
13	M	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
14	N	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
15	O	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
16	P	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
17	Q	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
18	R	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
19	S	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
20	T	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
21	U	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
22	V	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
23	W	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
24	X	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
25	Y	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
26	Z	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
27	AA	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
28	AB	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
29	AC	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
30	AD	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
31	AE	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
32	AF	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
33	AG	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
34	AH	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
35	AI	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
36	AJ	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
37	AK	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
38	AL	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
39	AM	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
40	AN	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
41	AO	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
42	AP	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
43	AQ	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
44	AR	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR
45	AS	3'-0" x 7'-0"	WOOD	PAINT	WOOD	SEE NOTE # 1	REPAIR



TYPICAL WINDOW DETAIL  
 1/2" x 1" - 0"

**GENERAL NOTE:**  
 PROVIDE A SCHEDULE OF REPAIRS FOR ALL HISTORIC WOOD WINDOW COMPONENTS, INCLUDING BUT NOT LIMITED TO:  
 - STAINING, CLEANING AND PREPARING FOR PAINT.  
 - REPAIR OF DELAYED OR ROTTED COMPONENTS BY STABILIZING WITH LEAD OR COPPER PASTE.  
 - CONSTRUCTION OF NEW REPLACEMENT ELEMENTS.  
 - REPAIRS AND TOUCH-UPS ARE REQUIRED AND THE CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING APPROVAL FROM THE ARCHITECT PRIOR TO COMMENCEMENT OF REPAIRS.  
 - ALL REPAIRS TO BE DONE IN ACCORDANCE WITH THE REPAIR SCHEDULE FOR REPAIR, CONFORMANCE AND/OR INDICATION. PROVIDE A SCHEDULE OF REPAIRS WITHIN FOUR WEEKS OF EXECUTING A CONTRACT.

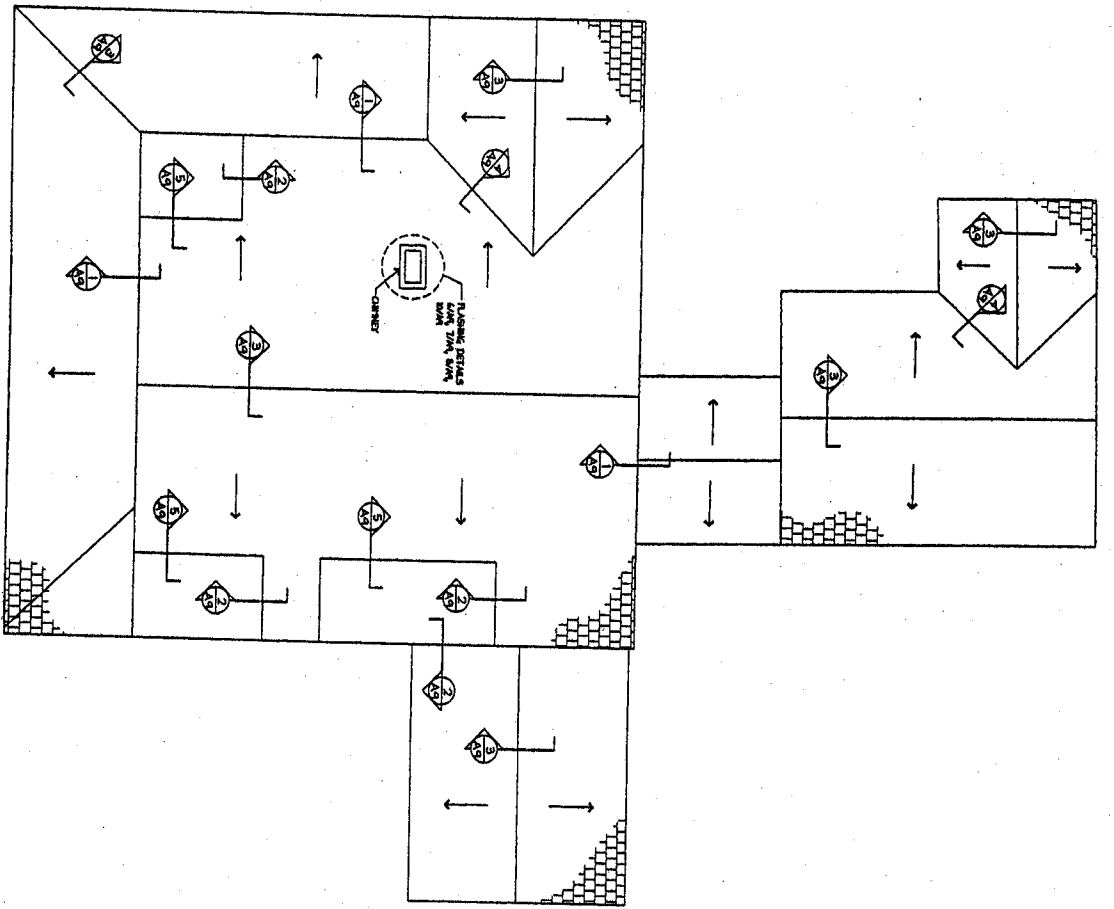
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 45. THE WINDOW OPERATOR SHALL BE THE UPPER PART OF GLASS IS BEING. THE LOWER PART OF GLASS IS BEING...



1110 W. 1ST STREET  
 JUPITER, FLORIDA 33457  
 PHONE: (407) 741-1111  
 FAX: (407) 741-1112  
 E-MAIL: INFO@BENDERANDASSOCIATES.COM

HISTORIC PIONEER OF THE  
**DUBOIS PIONEER HOME**  
 JUPITER, FLORIDA

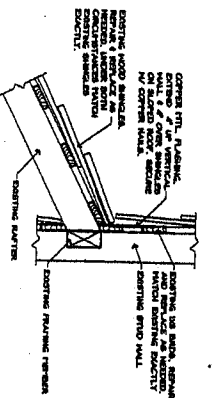
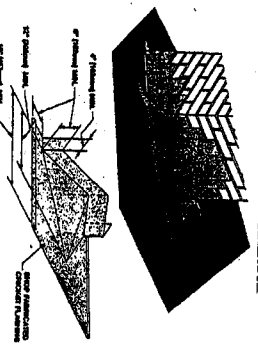
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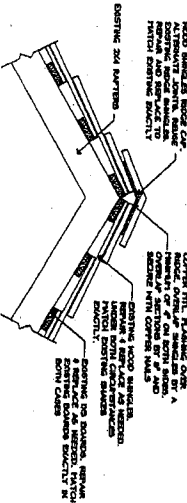
NOTES

HISTORICALLY, THE ONLY FRESH WATER AVAILABLE WAS THE SUPPLY FROM A BAWL THAT PUMPED FROM THE SITE AND WAS COLLECTED AND STORED IN THE CENTER. IT IS RECOMMENDED THAT A CROWN TANK ON THE WATER FRONT THE CENTER WAS PAVED BY HAND TO A 100 CALIBER (ONE LITER PER HOUR) OUTSIDE THE HOUSE FOR THE TOILET AND WASHLET. THIS TANK WAS POINTED ON BRICKS AND RESTED ON THE SIDE OF THE HOUSE.

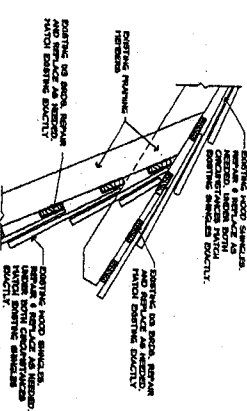
AT A FUTURE DATE, IT IS ANTICIPATED TO RECREATE A HISTORICALLY ACCURATE BAWL COLLECTION SYSTEM, INCLUDING GUTTERS, COLLECTION TANKS AND PUMP. THIS FUTURE WORK IS NOT PART OF THIS CONTRACT.



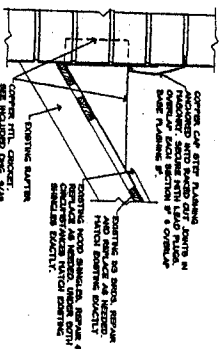
1 ROOF TO WALL DETAIL  
SCALE 1/2"



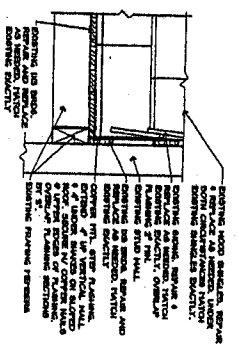
3 RIDGE DETAIL  
SCALE 1/2"



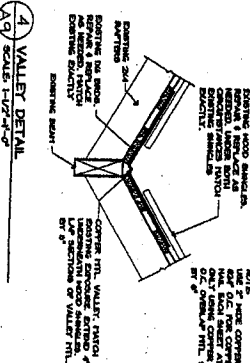
5 CHANGE IN ROOF PITCH DETAIL  
SCALE 1/2"



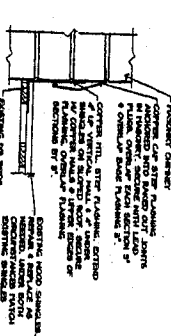
7 BASE FLASHING & UPSLOPE  
SCALE 1/2"



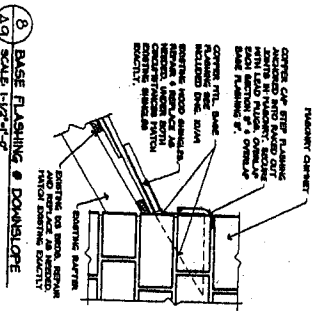
2 STEP FLASHING DETAIL  
SCALE 1/2"



4 VALLEY DETAIL  
SCALE 1/2"



6 STEP FLASHING DETAIL & CHIMNEY  
SCALE 1/2"



8 BASE FLASHING & DOWNSLOPE  
SCALE 1/2"



10 PLAN OF BASE FLASHING & DOWNSLOPE  
SCALE 1/2"

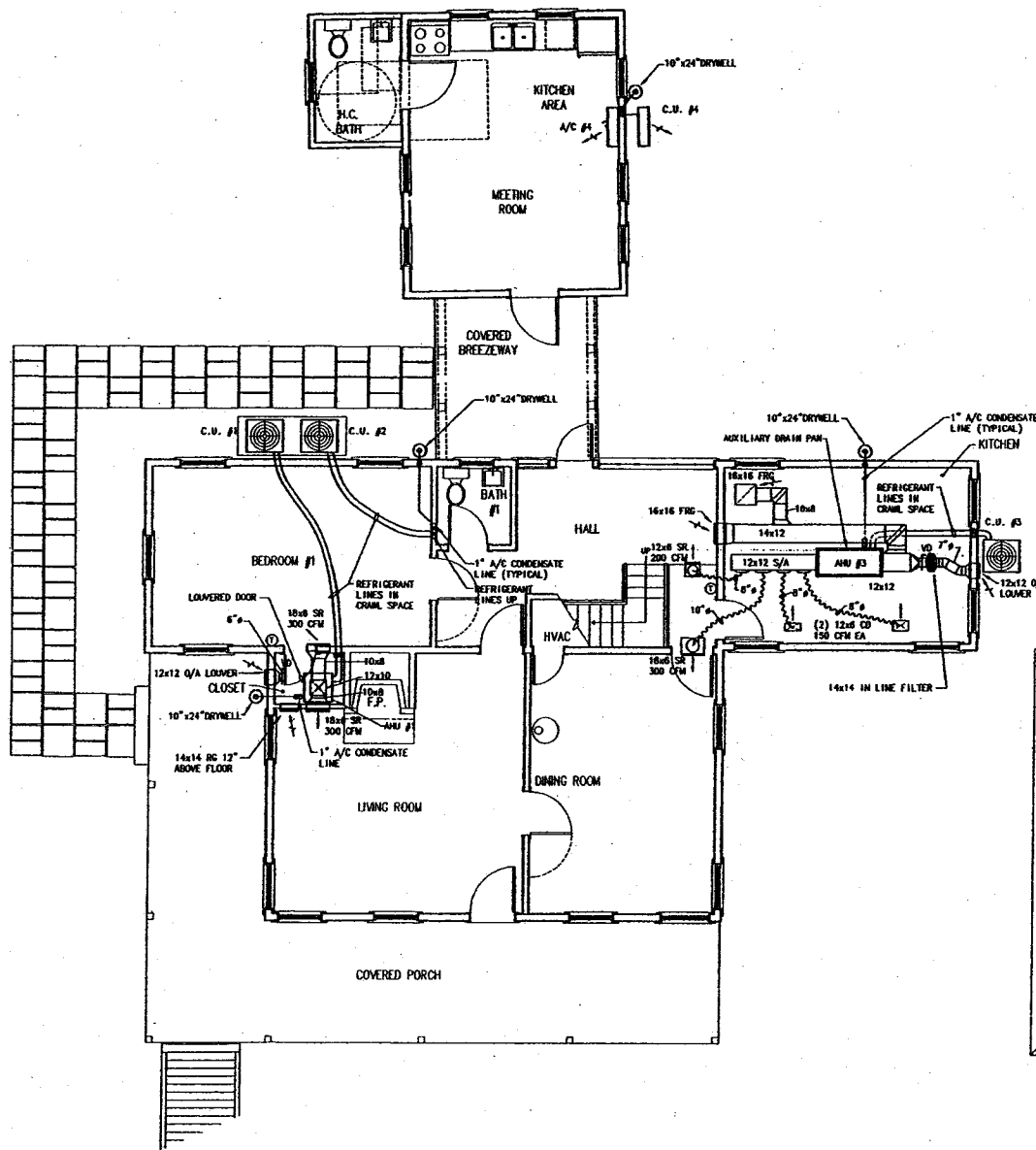




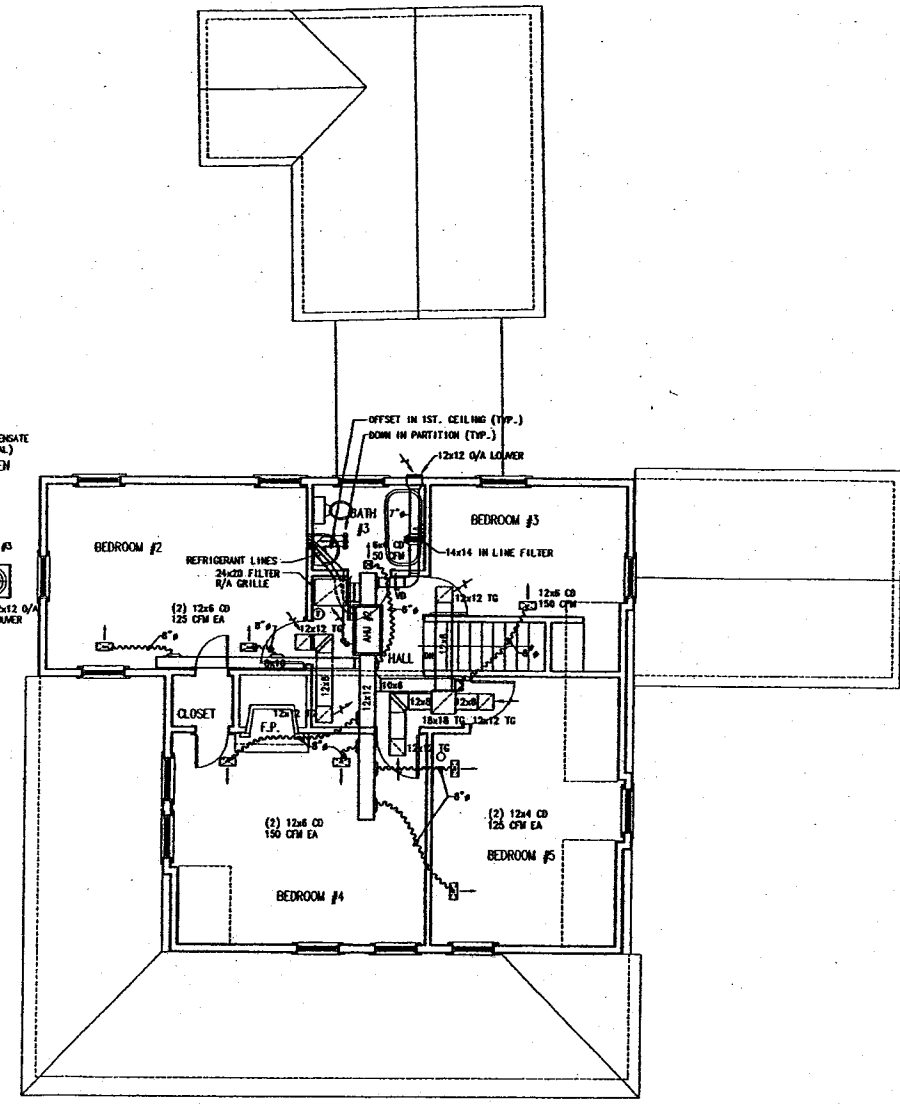








FIRST FLOOR - MECHANICAL PLAN  
SCALE 1/4"=1'-0"



SECOND FLOOR - MECHANICAL PLAN  
SCALE 1/4"=1'-0"

HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME  
JUPITER, FLORIDA

410 Angela Street  
Jupiter, Florida 33460  
Telephone (407) 298-1347  
Facsimile (407) 298-2722  
Florida License AC200222

Bender & Associates  
ARCHITECTS  
P.C.

Project # 0014  
MECHANICAL  
FLOOR PLANS  
Date 08-20-03

M-1

**HN+GS**  
HUFFSEY • BROCKLAIDES • GARCIA • SUAREZ  
CONSULTING ENGINEERS  
1500 SOUTH WINDY ST. SUITE 200  
JUPITER, FLORIDA 33460 (407) 298-2722 FAX (407) 298-2722  
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© CONSULTING ENGINEERS, P.C. (CLEARING) FL REG. 00000440

DIRECT EXPANSION SPLIT SYSTEM UNIT SCHEDULE

UNIT NO.	CONDENS. CAPACITY (TONS)	CONDENS. COEFFICIENT	EVAPORATOR										CONDENSING UNIT								ELECTRIC HEAT (KW)	REMARKS
			NO. / TON	TYPE	TOTAL	ENTR.	ENT. AIR	MANUFACTURER	VOL./	COMP.	FLA.	NO./	UNIT	MANUFACTURER	SYSTEM	NO. /	REMARKS					
(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)	(IN)			
1	18,000	14,700	250V/1.3	500	50	1	50V/7	200V/1	250V/1	200V/1	8.3	0.25	15/28	25	13.0	220V/1	4.8	(1.0)				
2	25,000	18,000	250V/1.3	500	50	1	50V/7	200V/1	250V/1	8.3	0.25	15/28	25	13.0	220V/1	4.8	(1.0)					
3	25,000	18,000	250V/1.3	500	50	1	50V/7	200V/1	250V/1	8.3	0.25	15/28	25	13.0	220V/1	4.8	(1.0)					
4	18,000	14,700	250V/1.3	500	50	1	50V/7	200V/1	250V/1	8.3	0.25	15/28	25	13.0	220V/1	4.8	(1.0)					

① PROVIDE CONDENS. PROTECTION COATING ON CONDENSER COIL AND COILING. PROVIDE MANUFACTURE STAMP DOWN COIL.  
② PROVIDE PROTECTIVE THERMOSTAT.

**GENERAL A/C NOTES**

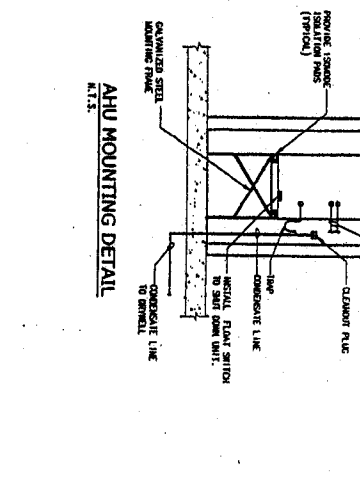
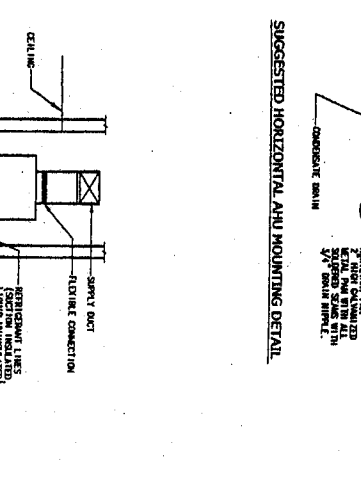
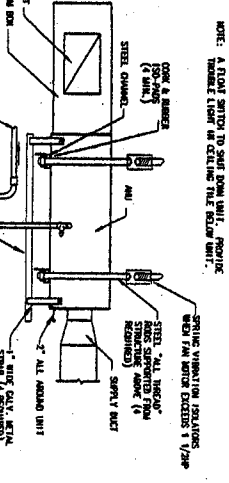
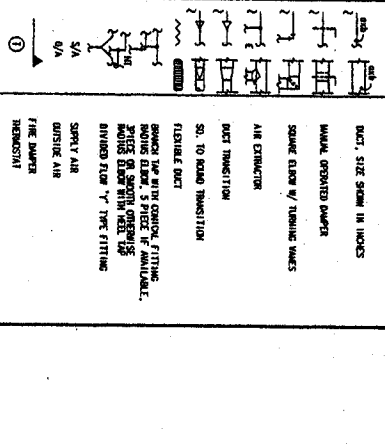
1. NEW UNDER THIS SECTION INCLUDES FURNISHING ALL LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND CONTRACTOR AS PERFORMING ALL OPERATIONS AS NECESSARY FOR THE INSTALLATION OF THE COMPLETE AIR DISTRIBUTION SYSTEM.
2. ALL DIMENSIONS AND ACTUAL CONSTRUCTION CONDITIONS MUST BE VERIFIED AT THE JOB SITE. CONTRACTOR SHALL CONSULT HIS WORK, AND EXACT DUCT ROUTING WITH SITE ARCHITECT AND SITE CONSULTANT.
3. a) ALL DUCTWORK SHALL BE 1-1/2" THICK GALVANNEED "THUNDERBOLT" FIBERGLASS UL-150 INSULATED DUCT SYSTEM (UL-150) (UL-150) (UL-150). ALL JOINTS AND LAPS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH MANUFACTURER'S RECOMMENDATIONS. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL.
- 4) DUCTILE IRON: DUCT SHALL BE LIGHTWEIGHT CONSTRUCTED WITH CORROSION RESISTANT COAT AND BE INTERLACED WITH BRONZE BELLS. DUCT TO BE INSULATED WITH 2" MIN. (1.5" MIN.) FIBERGLASS ULTIMATE INSULATION WITH FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL. ALL JOINTS SHALL BE SEALED WITH PRESSURE RESISTANT FIBERGLASS GEL.
5. HANGERS—2" AND 2-1/2" DIA. GALVANNEED STEEL HANGERS SHALL BE USED FOR ALL DUCTWORK DIMENSIONS ARE CLEAR INSIDE DIMENSIONS.
6. A/C CONTRACTOR SHALL FURNISH ALL NECESSARY A/C CONTRACTOR'S LABOR AND MATERIALS NECESSARY TO BALANCE THE SYSTEM. CONTRACTOR SHALL COMMITTEE ALL MATERIALS AND LABOR FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE BY OWNER.

**AIR DISTRIBUTION SCHEDULE**

SYMBOL	MANUFACTURER & MODEL NO.	DESCRIPTION
OD	1110 5200-04	GRAND AIR-TEC CEILING DIFFUSER WITH OPPOSED BLADE VALVE DAMPER.
SD	1110 6207S	STANDARD SQUARE REGISTER/GRILLE, 18"x18" BLUE VALVE DAMPER.
RD/RC	1110 627S	RETURN REGISTER/GRILLE, 18"x18" OPPOSED BLADE VALVE DAMPER.
O/A	HANGAR LAMP	REGISTER EGF CEILING WITH MANUAL DAMPER.

NOTE: ALL FINISHES WHITE UNLESS DIRECTED BY ARCHITECT/OWNER.

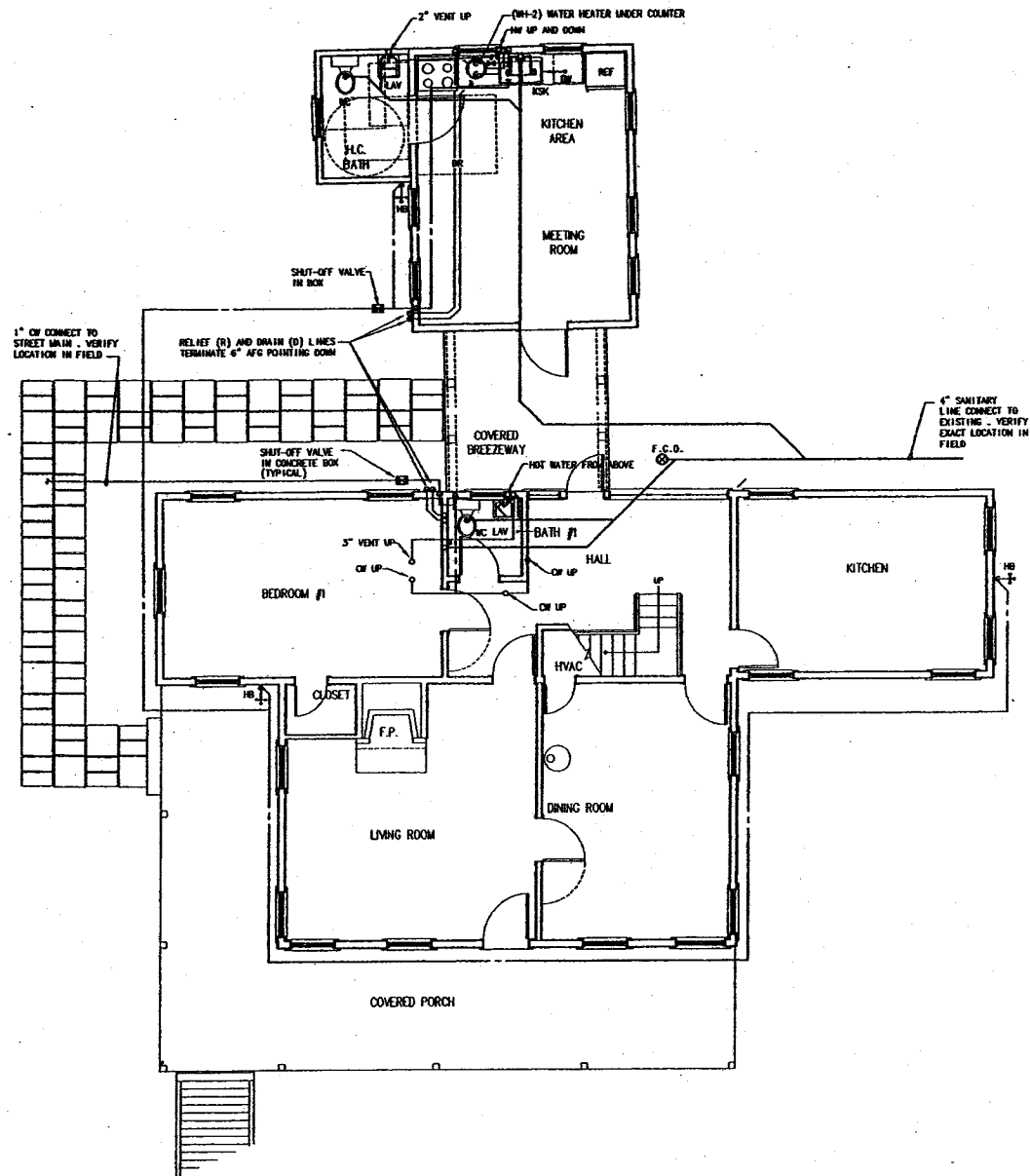
**AIR CONDITIONING LEGEND**



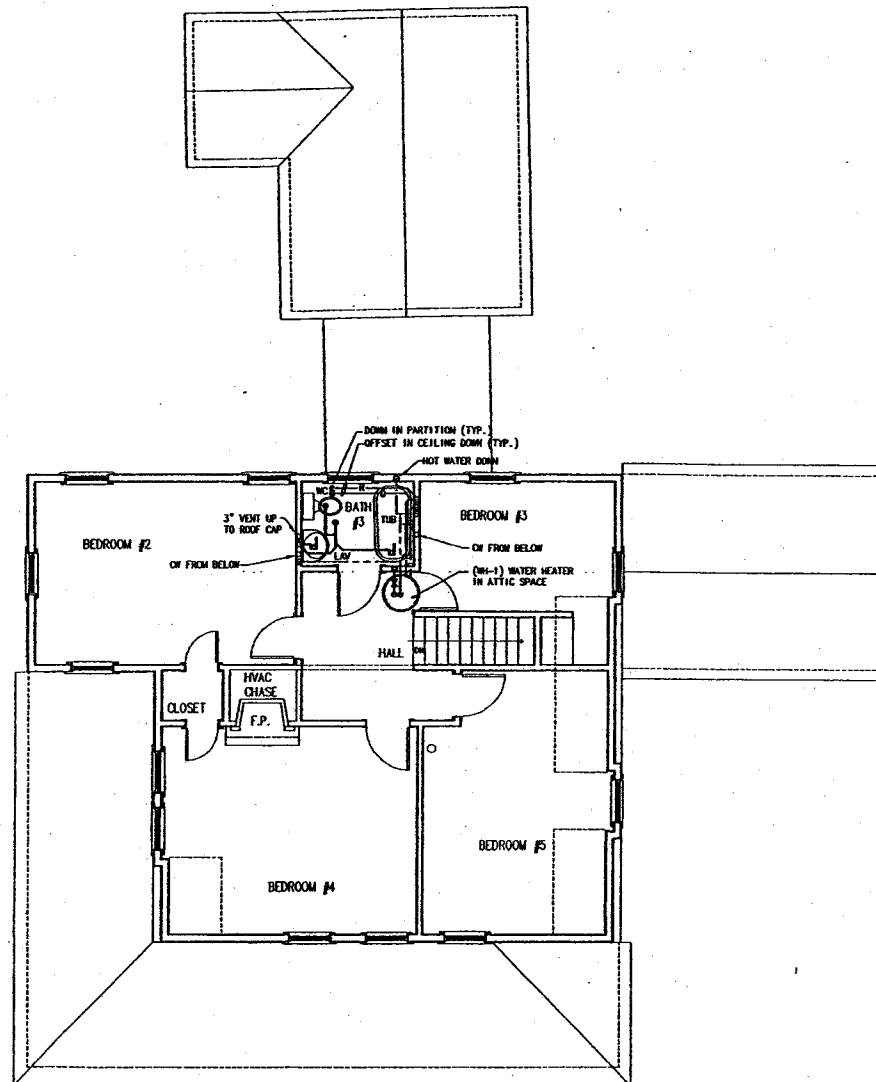
**INTEGRIS**

SURVEY • ARCHITECTURE • CONSULT • INTERIORS  
 2000 N. W. 11th Street, Suite 1000, Ft. Lauderdale, FL 33309  
 Phone: (954) 781-1000 Fax: (954) 781-1001  
 E-mail: info@integris.com  
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**Bender & Associates ARCHITECTS**  
 HISTORIC RESTORATION OF THE DUBOIS PIONEER HOME JUPITER, FLORIDA  
 M-2 16 OF 19



FIRST FLOOR - PLUMBING PLAN  
 SCALE: 1/4"=1'-0"



SECOND FLOOR - PLUMBING PLAN  
 SCALE: 1/4"=1'-0"

HISTORIC RESTORATION OF THE  
 DUBOIS PIONEER HOME  
 JUPITER, FLORIDA

410 Apollo Street  
 Jupiter, Florida 33408  
 Telephone (561) 588-1347  
 Fax (561) 588-8787  
 Florida Homeowner ADVISORY

Bender & Associates  
 ARCHITECTS  
 P.L.L.C.

Project #P-1014

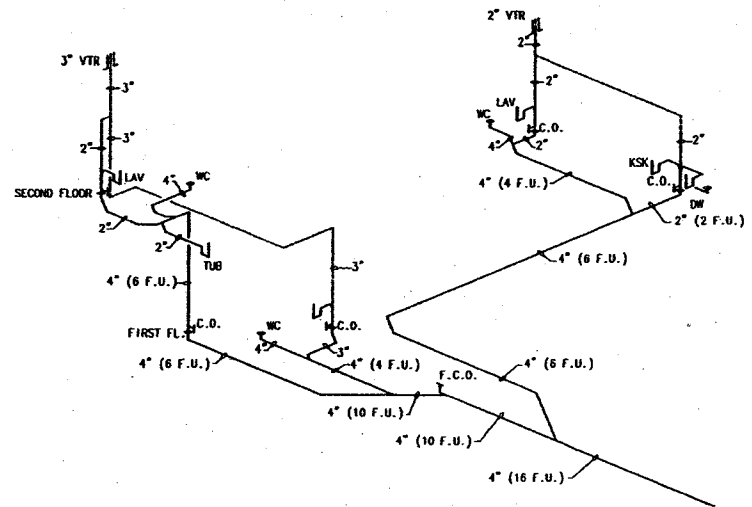
PLUMBING FLOOR  
 PLANS

Date: 09-28-05

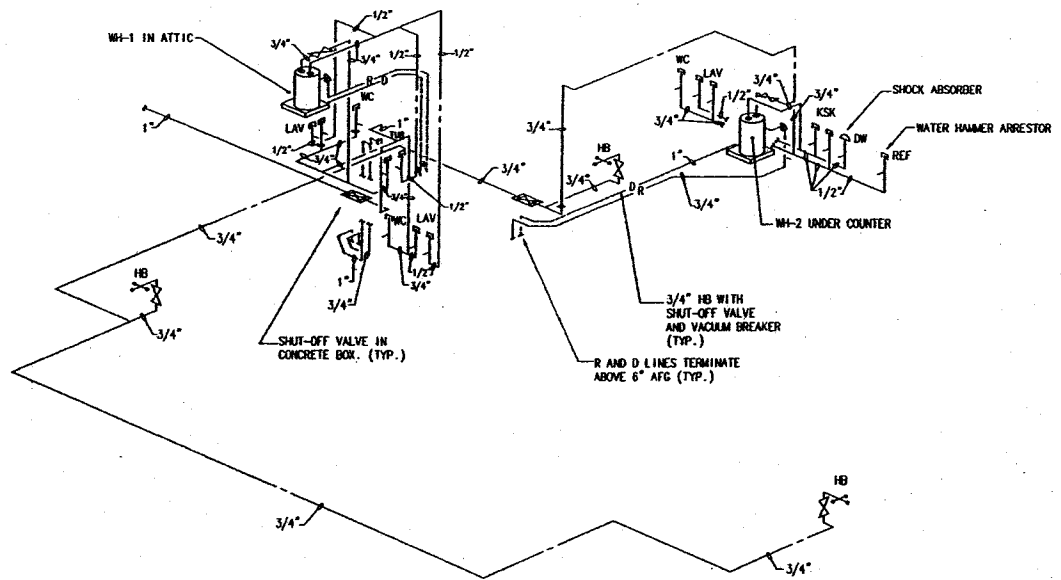
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16 OF 19

**TN+GS**  
 MURPHY • NICOLAIDES • CARROLL • STANLEY  
 CONSULTING ENGINEERS  
 7500 WINDY HILL RD. SUITE 200  
 JUPITER, FLORIDA 33414 TEL: (561) 776-6600 FAX: (561) 776-2200  
 1300 UNIVERSITY BLVD., SUITE 1000, WEST PALM BEACH, FLORIDA 33411 TEL: (561) 861-5770  
 1100 N. MILITARY TRAIL, SUITE 1000, WEST PALM BEACH, FLORIDA 33411 TEL: (561) 861-5770



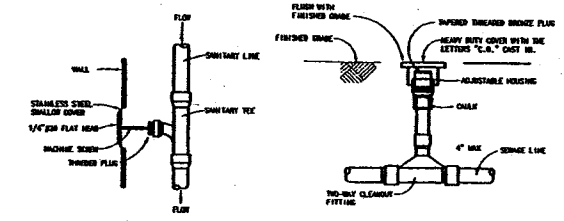
**SANITARY RISER DIAGRAM**  
N.T.S.



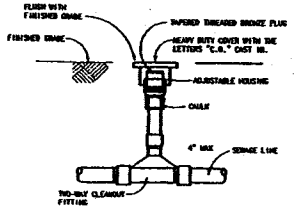
**WATER RISER DIAGRAM**  
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**GENERAL PLUMBING NOTES**

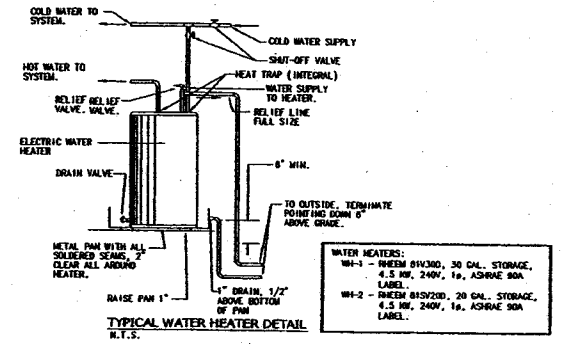
- A. GENERAL:**
1. WORK UNDER THIS SECTION INCLUDES FURNISHING ALL LABOR, EQUIPMENT, MATERIALS, SUPPLIES AND COMPONENTS AS PERFORMING ALL OPERATIONS AS NECESSARY FOR THE INSTALLATION OF THE COMPLETE PLUMBING SYSTEM.
  2. NO WATER LINES SHALL RUN INSIDE CONCRETE SLABS.
  3. ALL DIMENSIONS AND ACTUAL CONNECTION CONDITIONS MUST BE VERIFIED AT THE JOB SITE.
  4. CONTRACTOR SHALL COORDINATE ALL HIS WORK WITH OTHER TRADES AND FIELD CONDITIONS.
  5. PLUMBER SHALL NOT DEVIATE FROM THE SANITARY CONNECTION FORMAT WITHOUT ENGINEER'S APPROVAL.
- B. SANITARY WASTE AND VENT PIPING:**
1. SHALL BE CAST IRON 40-HUB ABOVE GROUND, PUSH-ON JOINT WITH NEOPRENE GASKET UNDERGROUND.
  2. ALL SANITARY HORIZONTAL PIPING SHALL BE SLOPED 1/8" PER LINEAL FOOT.
- C. WATER PIPING:**
1. ALL PIPING SHALL BE COPPER TYPE "L" WITH BRIDGE OR WESBAY COPPER SOLDER JOINT FITTINGS. JOINTS WITH 60/40 SOLDER, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
  2. INSTALL COPPER AIR CHAMBER AND MECHANICAL SHOCK ABSORBERS WHERE SHOWN ON WATER RISERS. CHAMBERS SHALL NOT BE LESS THAN 3/4" AND 18" HIGH.
  3. PROVIDE DIELECTRIC ISOLATION BETWEEN CONTACT OF DISSIMILAR METALS.
  4. C.P. ESCUTCHEON PLATES REQUIRED ON ALL WALL PENETRATIONS.
  5. A/C CONDENSATE SHALL BE COPPER TYPE "L" WHEN IN ABOVE GROUND. INSULATE ALL HORIZONTAL RISES WITH 3/4" FIBERGLASS INSULATION WITH AN SERVICE JACKET INSTALLED PER MANUFACTURER'S RECOMMENDATIONS OR 3/4" ANULATED. UNDERGROUND PIPING 2" AND LARGER SHALL BE CAST IRON PUSH-ON JOINT WITH NEOPRENE GASKET.
- D. PIPE HANGERS AND SUPPORTS:**
1. PROVIDE ADJUSTABLE HANGERS, INSERTS AND SUPPLEMENTARY STEEL AS REQUIRED FOR PROPER SUPPORT OF PIPE LINES.
- E. CLEANOUTS:**
1. CLEANOUTS SHALL BE PROVIDED AND INSTALLED AT POINTS INDICATED BY "C.O." AND "F.C.O." ON DRAWINGS.
  2. CLEANOUT COVERS:  
WALLS - JOWM 8006-SS  
CONCRETE FLOORS - JOWM 8300
- F. ODECTION:**
1. ALL WATER PIPING SHALL BE TESTED AT 100 PSIG, STERILIZED AND FLUSHED BEFORE CONNECTION TO BUILDING SYSTEM.
- G. SEE SPECIFICATION BOOK FOR ADDITIONAL DETAILED SPEC'S.**



**WALL CLEANOUT DETAIL**  
N.T.S.



**TWO WAY FLUSH CLEANOUT DETAIL**  
N.T.S.



**WATER HEATERS:**  
WH-1 - GREEN 87300, 30 GAL. STORAGE, 4.5 KW, 240V, 1φ, ASHRAE 90A LABEL.  
WH-2 - GREEN 87320, 20 GAL. STORAGE, 4.5 KW, 240V, 1φ, ASHRAE 90A LABEL.

**PLUMBING FIXTURE CONNECTION SCHEDULE**

MARK	DESCRIPTION	C.S.	H.W.	WASTE	TRAP	REMARKS
WC	WATER CLOSET	1/2"	-	4"	INTEGRAL	SELECTED BY OWNER
LAV	LAVATORY	1/2"	1/2"	1 1/4"	1 1/4"	
TUB	BATH/TUB	1/2"	1/2"	1 1/2"	1 1/2"	
SH	SHOWER	1/2"	1/2"	2"	2"	
SK	SINK	1/2"	1/2"	1 1/2"	1 1/2"	

**PLUMBING SYMBOL LEGEND**

SYMBOL	DESCRIPTION
---	SANITARY LINE
---	VENT LINE
---	SAFETY WASTE LINE
---	COLD WATER LINE
---	HOT WATER LINE
---	HOT WATER RETURN LINE
⊙	F.C.O.
○	C.O.
▽	VENT THRU ROOF

HISTORIC RESTORATION OF THE  
**DUBOIS PIONEER HOME**  
JUPITER, FLORIDA

410 Angela Street  
Jupiter, Florida 33460  
Telephone: (561) 726-2287  
Fax: (561) 726-2272  
Florida License: AR0002822

Bender & Associates  
**ARCHITECTS**  
P.A.

Project No: 0114  
NOTES, SCHEDULES  
DETAILS AND  
FIELD MARKING

Date: 02-20-03

**P-2**

17 OF 19

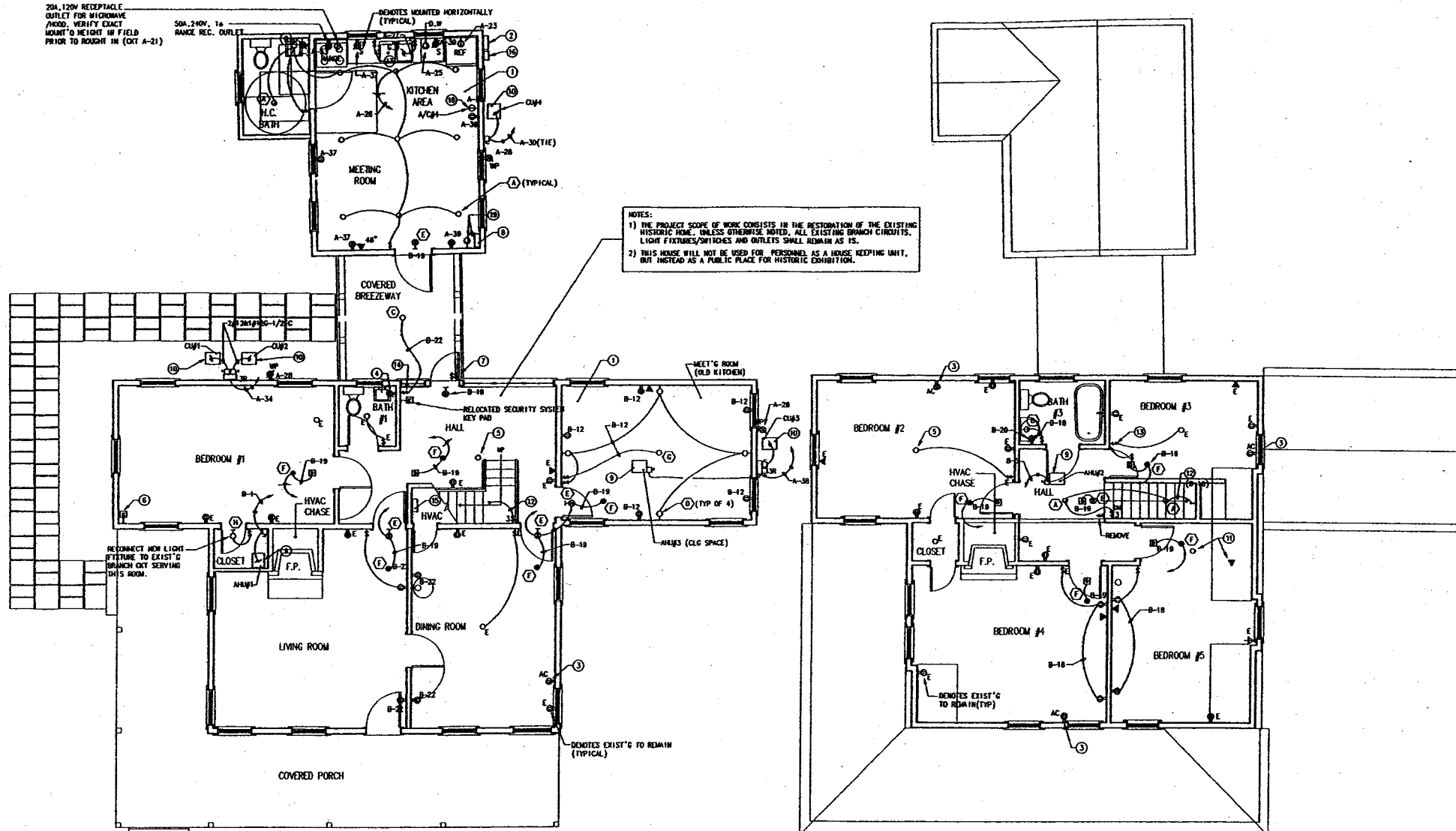
**IN:GS** BRUFNEY • NICOLAIDES • GARCIA • SUAREZ  
CONSULTING ENGINEERS INC. 63-6679  
SUITE 201  
1650 SOUTH WEST 40 STREET  
MIAMI, FLORIDA 33146 (305) 276-8300 Fax: (305) 276-2300  
© BRUFNEY & GARCIA, P.C. (ARCHITECTS) FL. REG. 00012794  
© CHELSEA GARCIA, P.C. (ELECTRICAL) FL. REG. 00014004



20A, 120V RECEPTACLE  
OUTLET FOR MICROWAVE  
/RNGD. VERIFY EXACT  
MOUNT'G HEIGHT IN FIELD  
PRIOR TO ROUGH IN (OCT A-21)

50A, 240V, 1P  
RANGE REC. OUTLET

RELOCATED HORIZONTALLY  
(TYPICAL)



NOTES:  
1) THE PROJECT SCOPE OF WORK CONSISTS IN THE RESTORATION OF THE EXISTING HISTORIC HOME, UNLESS OTHERWISE NOTED, ALL EXISTING BRANCH CIRCUITS, LIGHT FIXTURES/SWITCHES AND OUTLETS SHALL REMAIN AS IS.  
2) THIS HOUSE WILL NOT BE USED FOR PERSONNEL AS A HOUSE KEEPING UNIT, BUT INSTEAD AS A PUBLIC PLACE FOR HISTORIC EXHIBITION.

**FIRST FLOOR PLAN**  
SCALE 1/4"=1'-0"

**SECOND FLOOR PLAN**  
SCALE 1/4"=1'-0"

- CODED NOTES
- |   |  |
|---|--|
| <p>① EXISTING LIGHT FIXTURES/SWITCHES AND OUTLETS IN THIS AREA SHALL BE REMOVED. FINAL LIGHTING/POWER LAYOUT TO BE AS SHOWN.</p> <p>② EXISTING 200A ELECTRICAL PANEL "A" AND ELECTRICAL METER TO REMAIN.</p> <p>③ EXISTING 20A RECEPTACLE OUTLET FOR WALL MOUNTED A/C UNIT TO BE REMOVED. CONTRACTOR SHALL REMOVE DEVICE, PULL OUT BRANCH CIRCUIT WIRING AND PROVIDE BLANK COVER PLATE. EXISTING BRANCH BREAKER IN ELECTRICAL PANEL TO BE LABELED AS SPARE.</p> <p>④ EXISTING BATHROOM RECEPTACLE TO BE REPLACED BY A NEW 20A GFI RECEPTACLE OUTLET. RECONNECT TO EXISTING BRANCH CIRCUIT AS REQUIRED.</p> <p>⑤ NEW LIGHT FIXTURE TO BE SELECTED BY ARCHITECT, 120V. RECONNECT TO EXISTING BRANCH CIRCUIT WIRING.</p> <p>⑥ EXISTING SECURITY SYSTEM KEY PAD TO BE REMOVED AND RELOCATED TO HALL AREA. COORDINATE EXACT LOCATION IN FIELD WITH ARCHITECT. PROVIDE REQUIRED CONDUIT FOR EXTENSION OF SECURITY SYSTEM WIRING.</p> <p>⑦ EXISTING LIGHT SWITCHES IN CONFLICT WITH NEW DOOR TO BE REMOVED. PROVIDE NEW LIGHT SWITCHES IN HALL AREA WALL IF REQUIRED TO CONTROL EXISTING - REMAINING LOAD. COORDINATE THIS CONDITION IN FIELD.</p> <p>⑧ EXISTING 100A ELECTRICAL PANEL "C" TO REMAIN.</p> <p>⑨ NEW AIR HANDLING UNIT, 240V, 1PH. REFER TO SCHEDULE ON DRAWING E-2.</p> | <p>⑩ NEW CONDENSING UNIT, 240V, 1PH. REFER TO SCHEDULE ON DRAWING E-2.</p> <p>⑪ EXISTING LIGHT FIXTURE AND/OR TELEPHONE OUTLET TO BE REMOVED.</p> <p>⑫ TO STAIR THREE (3) MAY LIGHT SWITCH.</p> <p>⑬ RELOCATED LIGHT SWITCH. PROVIDE 1/2" FOR EXTENSION OF EXISTING BRANCH CIRCUIT WIRING AS REQUIRED.</p> <p>⑭ NEW HALL MOUNTED ELECTRONIC DIGITAL THERM SIMILAR TO INTERNATIONAL E120C, 120V.</p> <p>⑮ EXISTING ELECTRICAL PANEL "B" TO REMAIN.</p> <p>⑯ NEW 200A SERVICE RATED DISCONNECT SWITCH (NEAR "SR").</p> <p>⑰ DPST 20A SWITCH FOR UNDERCOUNTER WATER HEATER, 240V, 240V, 1PH. COORDINATE EXACT LOCATION IN FIELD WITH PLUMBING CONTRACTOR. CONNECT TO BRANCH CIRCUIT A-28.</p> <p>⑱ 20A, 120V, 1PH RECEPTACLE OUTLET TO SERVE INDOOR A/C UNIT. COORDINATE EXACT MOUNTING HEIGHT WITH MECHANICAL CONTRACTOR.</p> <p>⑲ EXIST'G J.BOX AND WIRE/CONDUIT TO BE REMOVED.</p> |
|---|--|

**HISTORIC RESTORATION OF THE  
DUBOIS PIONEER HOME**  
 JUPITER, FLORIDA

410 Angela Street  
 Jupiter, Florida 33458  
 Phone: (561) 744-2347  
 Fax: (561) 744-2322  
 Florida License #20060222

**Bender & Associates**  
**ARCHITECTS**  
 P.C.

Project #P: 014  
 FIRST & SECOND FLOOR  
 ELECTRICAL PLAN  
 Date: 08-28-03

**E-1**

**HN&GS**  
 HUNTER • NICOLAIDES • GARCIA • SHARPE  
 CONSULTING ENGINEERS      REG. # 03-0478  
 1600 SOUTH WEST 46 STREET      DATE: 8-28  
 MIAMI, FLORIDA 33145 (305) 278-0400      FAX: (305) 278-0300  
 © HUNTER & SHARPE, P.C. (MECHANICAL) FL REG. #00040794  
 © CONSULTING ENGINEERS, P.C. (ELECTRICAL) FL REG. #00040400



8 PB 34B

STATE OF FLORIDA  
DEPARTMENT OF STATE  
Division of Archives, History  
and Records Management  
DS-HSP-3A Rev. 5-75

FLORIDA MASTER  
SITE FILE

FDAHRM 802==

Site No. DuBois Home - No # Assigned 1009==

Site Name DuBois Home - Jupiter, Florida 830==

Other Name(s) for Site \_\_\_\_\_ 930==

Other Nos. for Site \_\_\_\_\_ 906==

NR Classification Category: Historical Structure (Archeological) 916==

County Palm Beach 808==

Instructions for locating site (or address) Located within DuBois Park - R. R. Box #11  
Along DuBois Rd. and atop Jupiter Inlet Midden I.

\_\_\_\_\_ 813==

Owner of Site: Name Board of County Commissioners 902==

Address Palm Beach County, Florida 903==

Occupant, Tenant, or Manager:  
Name NA 904==

Address \_\_\_\_\_ 905==

Reporter (or local contact):  
Name Greg Stenger - Administrative Assistant 816==

Address Parks and Recreation Dept, 2700 6th Ave. So. Lake Worth, Fl. 817==

Recorder:  
Name & Title \_\_\_\_\_ 818==

Address \_\_\_\_\_ 819==

Survey Date 1/15/72 820== Type Ownership Public Ownership 848==

Inventory Status \_\_\_\_\_ 914==

Previous Survey(s), Excavation(s) or Collection(s): (enter title of survey; date; whether federal, state, county or local; location of survey report(s); and material collected).  
Not available

\_\_\_\_\_ 839==

Recording Station \_\_\_\_\_ 804==

Specimens (Inventory Numbers) \_\_\_\_\_ 870==

Specimens (Present Repository of Materials) \_\_\_\_\_ 880==

Date of Visit to Site \_\_\_\_\_ 828== Recording Date \_\_\_\_\_ 832==

Photographic Record Numbers \_\_\_\_\_

\_\_\_\_\_ 860==

Location of Site (Specific):

Map Reference (incl. scale & date)

809==

Township	Range	Section	¼ Sec.	¼ ¼ Sec.	¼ ¼ ¼ Sec.
40S	43E	32	SW		

812==

LATITUDE AND LONGITUDE COORDINATES DEFINING A POLYGON LOCATING THE PROPERTY

Point	LATITUDE			LONGITUDE		
	Degrees	Minutes	Seconds	Degrees	Minutes	Seconds

OR

LATITUDE AND LONGITUDE COORDINATES DEFINING THE CENTER POINT OF A PROPERTY OF LESS THAN TEN ACRES.

800==

UTM Coordinates:

Zone Easting Northing

890==

Description of Site:

Original Use(s) of Site: Residence

838==

Site Size (approx. acreage of property): Approximately one acre

833==

<p>Condition of Site:</p> <p>Check one</p> <p><input type="checkbox"/> Excellent 863==</p> <p><input type="checkbox"/> Good 863==</p> <p><input checked="" type="checkbox"/> Fair 863==</p> <p><input checked="" type="checkbox"/> Deteriorated 863==</p> <p><input type="checkbox"/> Ruins 863==</p> <p><input type="checkbox"/> Unexposed 863==</p>	<p>Integrity of Site:</p> <p>Check one or more</p> <p><input checked="" type="checkbox"/> Altered 858==</p> <p><input type="checkbox"/> Unaltered 858==</p> <p><input type="checkbox"/> Destroyed 858==</p> <p><input type="checkbox"/> Restored () Date: () 858==</p> <p><input type="checkbox"/> Moved () Date: () 858==</p> <p><input checked="" type="checkbox"/> Original Site 858==</p>
---	---

Condition of Site (Remarks):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

863==

Threats to Site:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

878==

## HISTORIC SITE DATA SUPPLEMENT

Site No. \_\_\_\_\_

Site Name \_\_\_\_\_

## Present Use (check one or more as appropriate)

- |  |  |  |   |
|--|--|--|---|
| <input type="checkbox"/> Agricultural 850==  | <input type="checkbox"/> Government 850==        | <input checked="" type="checkbox"/> Park 850==   | <input type="checkbox"/> Transportation 850== |
| <input type="checkbox"/> Commercial 850==    | <input type="checkbox"/> Industrial 850==        | <input type="checkbox"/> Private Residence 850== | Other (Specify):                              |
| <input type="checkbox"/> Educational 850==   | <input type="checkbox"/> Military 850==          | <input type="checkbox"/> Religious 850==         | <input type="checkbox"/> _____ 850==          |
| <input type="checkbox"/> Entertainment 850== | <input checked="" type="checkbox"/> Museum 850== | <input type="checkbox"/> Scientific 850==        | <input type="checkbox"/> _____ 850==          |

## Period (check one or more as appropriate)

- |  |   |  |   |
|--|---|--|---|
| <input type="checkbox"/> Pre-Columbian 845== | <input type="checkbox"/> 16th Century 845== | <input type="checkbox"/> 18th Century 845==            | <input type="checkbox"/> 20th Century 845== |
| <input type="checkbox"/> 15th Century 845==  | <input type="checkbox"/> 17th Century 845== | <input checked="" type="checkbox"/> 19th Century 845== |   |

Specific Dates: Beginning 1898 844== Ending Present 846==

## Areas of Significance (check one or more as appropriate)

- |   |   |   |   |
|---|---|---|---|
| <input type="checkbox"/> Archaeology              | <input type="checkbox"/> Conservation 910==   | <input type="checkbox"/> Literature 910==     | <input checked="" type="checkbox"/> Social/Human- |
| Prehistoric 910==                                 | <input type="checkbox"/> Economics 910==      | <input type="checkbox"/> Military 910==       | Italian 910==                                     |
| <input checked="" type="checkbox"/> Archaeology   | <input type="checkbox"/> Education 910==      | <input type="checkbox"/> Music 910==          | <input type="checkbox"/> Theater 910==            |
| Historic 910==                                    | <input type="checkbox"/> Engineering 910==    | <input type="checkbox"/> Philosophy 910==     | <input type="checkbox"/> Transportation 910==     |
| <input type="checkbox"/> Agriculture 910==        | <input type="checkbox"/> Industry 910==       | <input type="checkbox"/> Politics/Govt. 910== | Other (Specify):                                  |
| <input type="checkbox"/> Architecture 910==       | <input type="checkbox"/> Invention 910==      | <input type="checkbox"/> Religion 910==       | <input type="checkbox"/> _____ 910==              |
| <input type="checkbox"/> Art 910==                | <input checked="" type="checkbox"/> Landscape | <input type="checkbox"/> Science 910==        | <input type="checkbox"/> _____ 910==              |
| <input type="checkbox"/> Commerce 910==           | Architecture 910==                            | <input type="checkbox"/> Sculpture 910==      | <input type="checkbox"/> _____ 910==              |
| <input type="checkbox"/> Communications 910==     | <input type="checkbox"/> Law 910==            |   | <input type="checkbox"/> _____ 910==              |
| <input type="checkbox"/> Community Planning 910== |   |   | <input type="checkbox"/> _____ 910==              |

## Thematic Classification:

- |   |   |                                      |
|---|---|--------------------------------------|
| <input type="checkbox"/> Aboriginal 912==               | <input type="checkbox"/> Military 912==             | Other (Specify):                     |
| <input checked="" type="checkbox"/> Architectural 912== | <input type="checkbox"/> Political 912==            | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> The Arts 912==                 | <input type="checkbox"/> Society 912==              | <input type="checkbox"/> _____ 912== |
| <input type="checkbox"/> Exploration & Settlement 912== | <input type="checkbox"/> Science & Technology 912== | <input type="checkbox"/> _____ 912== |

## Statement of Significance (use continuation sheet if necessary)

John DuBois, the eldest son of Harry and Susan DuBois, told the story of the DuBois Home on the shell mound at Jupiter Inlet on February 17, 1976 on tape for the Loxahatchee Historical Society.

The house was built in 1898 by Harry DuBois. Mr. Henry Sanders, who was soon to be his father-in-law, helped him frame it up, to quote John. Then he finished the first story to make a home for his bride.

Harry DuBois came to Florida from New Jersey to work for a friend of the family who had a grove on Merritt's Island, across from Titusville. He worked in the grove, ran the naphtha launch and hauled the fruit across the river to the station at Titusville for shipment north. He saved his pay each month to buy a sailboat.

His 2-masted sharpie, 44 feet long, was for hauling lumber and gas for the early settlers along the river. He also made an occasional trip to the keys to pick up a load of sproated coconuts and limes to peddle along the Florida coast.

Soon after the Life Saving Station opened in 1886, Harry DuBois joined the crew. He continued to work a pineapple patch he had put out on

## Remarks &amp; Recommendations:

Palm Beach County Parks and Recreation Department intends on preserving the house by renovation with the cooperation of the Loxahatchee Historical Society. Future plans call for a proposed museum and utilization of the house as a historic tourist attraction.

835==

## Major Bibliographic References:

Loxahatchee Historical Society, P. O. Box 1506 Jupiter, Florida  
 -ATTN: Ethel Gravett, President  
 John DuBois, Son of eldest son, Harry and Susan DuBois,  
 Tape for Loxahatchee Historical Society

920==

## Description (Evidence):

862==

## Present &amp; Original Physical Appearance (use continuation sheet if necessary)

Restoration of house (\$10,000 in 1976) NOTE: Additional restoration and renovation will be budgeted pending historical significance.

935==

## CONTINUATION SHEET

Lake Worth Creek, later the Intracoastal Waterway, about a half mile south of the Life Saving Station. During the storm season when the Life Saving Crew was on duty, they had to patrol the beach one mile to the north and one mile to the south. They carried a time clock with them to a Key-Post at the end of each mile and punched the clock.

The Life Saving Crew members dated the local girls, put on dances at the station and at the Carlin House and provided social life for the community. It was on a blind date that Harry DuBois met Susan Sanders, the new teacher, who had come to teach at the little octagon school house, on Lake Worth Creek. They were soon engaged and Harry bought 18 acres of land in the Inlet from the Gleason family to build a home and a farm. He paid \$100 an acre for his land while many of the early settlers along the river were paying \$3-10 an acre.

Harry DuBois sent to his family in New Jersey for plans for a home on the coast that would withstand the high winds and rigors of living on the ocean. The plan allowed for the building of the first floor, and as the family grew, the addition of the second floor. Lumber and stringers for the house and shingles for the roof and sides were brought from Titusville by boat, or perhaps, when the beach combers were lucky, picked up on the beach. Harry was painstakingly staining the shingles on the roof with red stain when he fell bucket and all. The story goes that Fred Powell came along and saw him and ran to tell Capt. Carlin that Harry was dead, all covered with blood. He was hurt but no bones were broken and he soon resumed work on his house.

Harry DuBois raised truck and bananas on his point and planted fruit trees. He found the salt air hard on crops. Vegetable shipments frequently brought no return from the New York markets. He went into bee keeping and during the sugar shortages of World War I, he shipped many barrels of honey north. He and John, the first son now growing to tall young manhood, fished for pompano for the Hotel Poinciana during the winter season. John said pompano brought 25 cents a pound to the fisherman even in those days and with \$2 buying a day's labor, that was good pay. The Tropical Sun, of those years, told about Harry DuBois bringing in boatloads of bananas and vegetables for the West Palm Beach merchants.

John DuBois, the first son, was born in 1899; Henry S. DuBois, the second son, was born in 1901 and Anna, the only daughter was born in 1903. Neil, the youngest son, was born in 1905. At the time Anna was born, Harry DuBois added a second story to the house and put a bathroom upstairs. Water for the bath and for the kitchen sink was now supplied with a force pump, hand operated at first, which filled a tank on the second story level.

During the family's growing-up years, the shingle house on the shell mound was a gathering place for the young folk of the community. Young friends would go home with the family after church for dinner and a long afternoon on the beach. Or families in their boats would pull up at the dock for an afternoon visit. Mrs. DuBois would entertain members of the Women's Club for a meeting who also came in one or two boats run by the husbands.

Harry DuBois died of pernicious anemia in 1924 and two years later when the crash following the boom wiped out everyone's savings, Mrs. DuBois moved to West Palm Beach to keep house for you 80 year old father. The house was rented

Continued -

for a number of years. R. F. Gladwin II, and his family lived there when they first came to Florida. Clyde and Rena Canipe lived downstairs when they first came to Jupiter to teach. For many years Professor and Mrs Charles Andrews had the house. They made many improvements there just as if they owned the house.

Professor Andres was a retired history teacher from Yale University. One day one of his students, the author Louis Capron, came up from West Palm Beach to visit him and brought a copy of Jonathan Dickinson's Journal. When Mr. Andres realized that he was living on the mound where the Quaker merchant from Jamaica and Philadelphia and his family, shipwrecked by a hurricane, were held captive by the Indians in 1696, he became deeply interested in the Journal. His editing and research of the notes he made on the circumstances surrounding the Journal and Dickinson's life in Jamaica are most readable.

After Professor Andrews' death, the house was bought by Mr. and Mrs. Leo Vickers of Ocean City, New Jersey. They made further improvements and kept it up until the last years when it was being considered for a part of a county park. The county finally took over the land as a part of the county parks system and replaced the roof. The Historical Society and other organizations of the town plan to renew the rest of the house and furnish it with furniture of the early 1900's.

One fact that John brought out of their early years was that his mother cooked on a wood stove, and all the years she lived there, with a kerosene stove for cooking the guava jelly which she made so well, and sometimes sold. They gathered the wood for the stove on the beach, stored it at the bottom of the hill and carried the chopped stove-size pieces to the woodshed-washhouse in a wheelbarrow.



## OTHER NOTABLE FEATURES OF BUILDING (FREE TEXT) (865):

ROOF STRUCTURAL SYSTEM: Light wood framing. Heart Cypress shingles on wood stripping and 2"x 4" wood rafters. 865==

MAIN ENTRANCE: No formal main entry. Guest access to house through front porch. 865==

WINDOW PLACEMENT: See accompanying photographs 865==

WINDOW SURROUNDS AND DECORATION: 4 light double hung wood windows with flat wood trim. 865==

PORCHES, VERANDAS, GALLERIES AND BALCONIES: Elevated shed roof wood front porch full length of northeast side of main house. Small service porch at rear of house 865==

EXTERIOR ORNAMENT AND COLOR: Exterior walls weathered heart Cypress shingles with white windows, doors, trim and shutters 865==

INTERIOR COMMENTS: Southern Pine floors. Southern Pine tongue & groove V-joint wall paneling (diagonal) and ceilings, flat wood trim and base, wood cornice 865==

OTHER (SPECIFY): 865==

MAJOR ALTERATIONS (FREE TEXT) (1937) Added upstairs and downstairs fireplace; added downstairs bathroom, replaced plumbing fixtures, screened front porch, replaced original wood foundation piers with masonry 857==

OUTBUILDINGS (FEATURES OF SITE) Wash house at rear of house connected by service porch 876==

SURROUNDINGS (CLASSIFICATION) Located in northwest corner of 24-acre County Park adjacent to residential area 864==

RELATIONSHIP TO SURROUNDINGS (FREE TEXT) House is located atop a pre-historic Aboriginal Indian shell mound, overlooking the Jupiter Inlet and Atlantic Ocean beyond. The historic Jupiter Lighthouse is located to the northwest, across the Inlet. 859==

**NOT  
APPLICABLE**

**NOT  
APPLICABLE**

**NOT  
APPLICABLE**

**NOT  
APPLICABLE**

**Optional Attachments**

**Attachment L**

1. Scope of Work Summary
2. Resume: Bryan Davis
3. Curriculum Vitae: Christian D. Davenport, MA, RPA.

## Scope of Work Summary

*Phase 1 will include exterior renovations and the stabilization of the Indian midden.*

**(1) Repair or replacement of roof** – the wood shake roof was replaced approximately 12 years ago, however, it was damaged during the last three hurricanes, Frances and Jeannie in 2004 and Wilma in 2005. The roof replacement including installation of new sheathing and a protective barrier should take less than six months.

**(2) Repair and Restoration of wood shingles** – all worn and rotten shingles throughout house are to be removed and replaced with new shingles to match existing as to size, profile, species, grade and finish. Shingles have been damaged by local fauna and also during recent hurricanes. All existing thru-wall and/or window air conditioner units and appurtenances are to be removed and shingles installed. This work is expected to take less than 12 months.

**(3) Restoring or replacing windows and exterior doors** - the remaining original wood double hung windows will either be replaced or restored depending on their condition and the extent of damage. The second floor and kitchen windows that were previously replaced with aluminum window units will also need to be replaced with period wood double hung windows. For these windows that require replacement, every attempt will be made to locate windows of the same material, size and era. It appears the majority of the wood doors will be able to be restored. The time frame for completing this part of the project will depend on the available of locating replacement windows, however, we are confident it will be complete within 18 months.

**(4) Removal of existing exterior wood shutters and installation a of removable clear Lexan storm shutter system** – exterior wood shutters were not original to the house and will be to be removed. A removable Lexan storm shutter system will replace all existing wood shutters. The clear Lexan panels will provide protection without obscuring the character defining window features of the house. Proper care will be taken to install storm panels according to the details so that proper ventilation occurs between storm panels and the windows. This work will begin once the restoration of the windows is complete and is expected to take two months.

**(5) Removal of rear breezeway and Chauffeurs room** – Once research confirms the southwestern addition known as the "Chauffeurs House" post dates the 1938 restoration goal it will removed in order restore the main house's original entry. All demolition undertakings will be designed to reduce further adversely impacting the underlying Native American shell midden. Any building materials that are salvageable will be saved for reuse in the current project or for future repairs to the main house.

In addition Skilled workmen under the direct supervision of a historic architect and the County Archeologist, will use care to protect the historic fabric of the existing house in the removal process. All subsurface work relative to foundations, footings and similar excavations will be preceded with archaeological excavation units at the location of those disturbances. The removal of the addition should take less than six months to complete.

**(6) Restoration of covered patios and decks** – the existing concrete pavers added around the house as part of the 1960's additions will be removed and the existing grade at the patio area that was built up too high, will be lowered to an historic elevation that falls below wood floor structural members. This work should be completed within six months.

**(7) Stabilization of Indian midden** – The Native American midden will be stabilized and maintained by following guidelines and practices laid out in "Best Management Practices: An owner's Guide to Protecting Archaeological Sites, Preserving and Protecting Florida's Archaeological Sites for Future Generations". This work should be completed within 12 months.

**(8) Repair of existing wood staircase on eastern side of the midden** – rotten wood, damaged handrails and rails will be replaced in order to provide safe access to the house. This work should be completed within four months.



# BRYAN DAVIS

## RELEVANT EMPLOYMENT

---

**Principal Planner/Urban Designer** June 2006 to Present  
*Palm Beach County Planning Division—Redevelopment Section* WPB, Florida  
Head of a newly created section that reflects a shift in the County from Greenfield development to redeveloping existing parcels. Section is tasked with exploring and devising new development standards in the County's Comprehensive Plan, Zoning regulations, including a transition to "form-based codes," that is, development that is based upon architectural pattern books and historic styles. Other necessary tasks to include coordination with county agencies, other municipalities, and interested parties to devise new standards, densities and intensities for redevelopment.

**Urban Designer/Senior Planner** May 2005 to June 2006  
*Palm Beach County Planning Division—Current Planning Section* WPB, Florida  
Responsibilities as the Division's Urban Designer include review of zoning applications for consistency with the County's Comprehensive Plan; advising the Planning and Zoning Divisions regarding site design and planning concepts and their implications on the Unified Land Development Code (ULDC) including but not limited to pedestrian oriented design (walkability), sustainable design, and interconnectivity; advising staff and the Historic Resources Review Board (HRRB) of matters of historic interest in current development; other responsibilities include direct and indirect supervision of Planners, writing staff reports for amendments to the Comprehensive Plan, making presentations to various advisory boards and Board of County Commissioners, and other projects and tasks as necessary.

**Planner II/Development Review Officer** September 2003-May 2005  
*Palm Beach County Zoning Division—Architectural Review Section* WPB, Florida  
Responsibilities as an Architectural Review/Building Permits Planner included review of the site development for the building permit and related plans for compliance Zoning requirements. Architectural Review, as one of the County's DRO agencies, evaluates building and site designs for compliance with Zoning requirements, analyzes functional relationships among internal and external elements, and makes recommendations on overall design based on the criteria set forth in the County's Design Guidelines. Also, position served as a technical advisor to other Zoning sections and the public regarding site layout, public amenities, visual focal points, and other design features.

**Senior Historic Preservation Planner** July 2002-September 2003  
*Kisinger Campo & Associates, Corp.* Atlanta, Georgia  
Duties included determination of eligibility for the National Register of Historic Places (NRHP) in accordance with Section 106 of the National Historic Preservation Act (NHPA); assessment of project effect upon NRHP-listed and NRHP-eligible resources; exploration of design alternatives in the project to reduce, avoid/mitigate adverse effects to cultural resources for DOT projects. Non-cultural resource responsibilities included synthesizing multiple studies summarizing the planning and design process, potential impacts to resources (environmental, cultural, social, economic, etc.), and avoidance alternatives chosen, resulting in the drafting of Categorical Exclusion (CE) or Environmental Assessment (EA) reports. Additional roles included: conducting Section

4(f) evaluations and other special studies, coordination with federal/state/local agencies/officials, performing public involvement and community outreach functions, design charrettes, making recommendations on 'context sensitive design' solutions, and coordination with engineers and technical personnel during the roadway design process.

**Architectural Historian/Preservation Project Manager** March 2001-July 2002

*Terracon*

*Atlanta, Georgia*

Duties as an Architectural Historian centered on NRHP determination of eligibility, and the assessment of effect upon historic resources for projects receiving Federal funds or licenses in accordance with Section 106. Projects ranged from telecommunications/broadcast towers to roadway improvement and expansion projects across the Southeastern US. Responsibilities as Project Manager included running the cultural resources department (up to six full-time personnel), reviewing Section 106 reports and NEPA documentation as written by others. Sensitive projects resulted in specialized research including the production of measured drawings, detailed photographic surveys, archival/records searches, and consultation with state and/or local officials to determine NRHP eligibility for potentially affected resources. Some projects included offering testimony or professional evaluation of the resources before Historic Preservation Commissions, Zoning Review Boards, City Commissions as well as meeting with State Historic Preservation Officers.

**Instructor of History**

August 2000-June 2001

*Georgia Perimeter College, Lawrenceville Campus*

*Lawrenceville, Georgia*

Instructor of American History I & II, and World History II (1500-Present) survey courses at a regional community college in suburban Atlanta.

**Program Assistant and Instructor—Italy Program**

June-August 2000

*College of Architecture, Georgia Inst. of Technology*

*Atlanta, Georgia*

Program Assistant and Instructor of Architecture for study abroad program in Italy. Responsibilities included lecturing, leading groups through historic sites, public places and museums of Italy (Rome, Tivoli, Pompeii, Herculaneum, Paestum, Pienza, Sienna, Florence, Pisa, Verona, Vicenza, and Venice), administrative duties, and other miscellaneous roles in conjunction with teaching about the art, architecture, urban form, and history of Italy.

**Teaching Assistant—History of Industrial Design**

August 1999-June 2000

*College of Architecture, Georgia Inst. of Technology*

*Atlanta, Georgia*

Industrial design history from the Industrial Revolution to the present day. Responsibilities included leading discussion sections, writing exams and review sheets, grading papers and exams, conducting review sessions, student meetings, producing lecture slides, and preparation and delivery of several lectures in addition to the weekly precept meetings.

#### CULTURAL RESOURCES EXPERIENCE

- **I-20 HOV Lane Expansion Project, Historic Resource Evaluation, Fulton/Cobb/Douglas Counties, Georgia**—Historic Preservation Planner & Project Manager for the Section 106 historic resources evaluation along I-20 in west Atlanta. Project traversed early-to-mid-twentieth century Atlanta suburban neighborhoods, which had not been evaluated for NRHP eligibility. (2003)
- **"Big GRIP" US 441, Environmental Assessments, Echols, Clinch and Atkinson Counties, Georgia**—NEPA Specialist and Planner responsible for advising on design, resource avoidance, performing public involvement, and co-authoring of

two NEPA documents covering 64 miles of roadway widening (2-lane to 4-lane) in rural South Georgia. Coordination with resource agencies, FHWA, GDOT, and local officials as well as extensive community outreach was critical to the successful completion of the EA and finalizing the conceptual roadway design. (2002-2003)

- **South Calhoun Bypass, SR 53, Environmental Assessment**, Gordon County, Georgia—NEPA Specialist/Planner responsible for co-authoring the EA for 8 miles of new location bypass; other roles included reviewing special studies reports, public involvement, and coordination with officials. (2002-2003)
- **“Big GRIP” US 441, Historic Resources Evaluation**, Echols, Clinch & Atkinson Counties, Georgia—Project Manager & Architectural Historian, Section 106 evaluation of historic resources and assessment of effect along a 64-mile long corridor. Over sixty NRHP-eligible resources were identified, and only one was adversely affected by the project. (2001-2002)
- **Telecommunications & Broadcasting Tower Projects, Historic Resource Evaluations**. Principal Investigator on over 400 projects across the Southeastern US. Evaluated historic and archaeological resources for compliance with NEPA and NHPA. Multiple urban projects required Certificates of Appropriateness and achieving context sensitive design solutions appropriate to historic urban environments. (2001-2002)
- **Transportation Enhancement (TE) Projects**—Principal Investigator on multiple roadway improvement projects across Georgia. Each included evaluations of historic and archaeological resources in accordance with Section 106, NEPA, and state planning requirements. (2001-2003)
- **Historic Structure Report (HSR)-Parson Joseph Capen House**, Topsfield, Massachusetts. Investigation of the history and preservation of a notable 17<sup>th</sup> century Early American rough-hewn timber frame residence. (1999)
- **Research Project-Pavilion VII Construction Study**, University of Virginia, Charlottesville, Virginia. Analysis of construction methods of Jefferson’s oldest building on the UVA grounds while undergoing restoration. (1998)
- **HABS/HAER Documentation Projects**--Nantucket, Massachusetts. All facets of historic documentation (photography, measured drawings & HSR) for the Methodist Church and Brant Point Lighthouse. (1998)

## EDUCATION

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1999-2000      Georgia Institute of Technology      Atlanta, Georgia

*Doctoral Studies in Architecture—History, Theory & Criticism*

Completed required core courses in Architecture and Design History. Emphasis and interest in Classicism and the intellectual climate, aesthetics, and technology as it contributed to the architecture/planning/design culture and methodologies in the nineteenth and twentieth centuries in the United States. On an indefinite leave of absence from the program.

1998-1999      University of Virginia      Charlottesville, Virginia

*Post-Graduate Studies in Architectural History*

Coursework emphasized American Architectural History and the architecture of the Far East. Other studies and investigations included social history, urban & regional planning, as well as technical aspects of building preservation. Curriculum pursued was for a Master of Architectural History, a requirement of UVA’s Ph.D. program. Left “in good standing” to enroll in Ph.D. program at Georgia Tech.

1997-1998 University of Florida Gainesville, Florida

*Master of Science in Architectural Studies—Historic Preservation & Arch. History*

Attended the University of Florida's PRESERVATION INSTITUTE: NANTUCKET summer study program in historic preservation and historic design. Studies included: history of building technology; Architectural History; Preservation theory planning and practice; preparation/evaluation of design guidelines; and Architectural/Aesthetic Theory.

1992-1997 University of Florida Gainesville, Florida

*Bachelor of Arts—History and Classical Studies (Double Major)*

Coursework for the History major was in Modern European History, with additional study in the exploration and colonization of the Western Hemisphere through the American Revolution (1492-1783). Courses generally were in political, cultural/social, ideological, and urban history. Classics major included classes in the Latin language, translation, etymology, history, literature, philosophy, rhetoric, arts, and culture of the Greco-Roman world.

#### RELEVANT SKILLS

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- Architectural/Mechanical Drafting & Design
- Photography—Digital and 35mm SLR Camera-Landscape and Architectural Documentation (training in medium & large format)
- Meets/exceeds the requirements of the *Secretary of Interior's Professional Qualifications Standards for Archaeology and Historic Preservation* for Architectural Historians.

#### MEMBERSHIPS & AFFILIATIONS

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- Palm Beach County Planning Congress
- Recent Past Preservation Network (RPPN)
- Society of Architectural Historians
- Eta Sigma Phi, Classics Honor Society

#### SELECTED PAPERS AND PRESENTATIONS

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- "The Place of Social Impacts in the Iterative Assessment Process: A Case Study of a Highway Project in Georgia," with D. Youngkin, L. Dawood, & L. Kennedy; *The Practice of Social Impact Assessment, a Special Issue of Impact Assessment and Project Appraisal*, Summer, 2003.
- "Henry John Klutho: Modern-Classical Architecture in Jacksonville, Florida," Paper presentation, Georgia Tech, April, 2000.
- "Kitsch, Memory, and Late Modernism: Understanding Current Trends in Architecture" Lecture given at Georgia Tech, April, 2000.
- "Michael Graves: The Architect as Industrial Designer—Again?" Lecture given at Georgia Tech, December, 1999.
- "Hyperbole and the Persona of the Master in the Canon of Architectural History—Assessing the Role of Frank Lloyd Wright in the Interpretation of the Imperial Hotel in Tokyo, Japan," Paper presentation, University of Virginia, December, 1998.
- "Historic Preservation in Jacksonville, Florida—Some Exciting and Disturbing Directions?" Paper presented to the Preservation Institute: Nantucket, July, 1998.

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**Current Position. Palm Beach County Archaeologist**

### **HIGHLIGHTS OF QUALIFICATION**

Over 20 years of experience in Cultural Resource Management on all phases of excavation including both prehistoric and historic sites from New Hampshire to Oaxaca, Mexico. Positions range from basic field technician to field school director. Excellent research, communication, organizational and laboratory skills. Experience in statistical analysis, testing and survey techniques. Familiar with most forms of Pleistocene megafauna. Worked on two new experimental chronometric dating techniques: an EPR dating project and SIMS (a new method of dating hydrated obsidian). Collected and analyzed artifacts using SIMS to develop a fully calibrated model of the hydrate process. **Computer skills:** *Word, Access, Excel, Power Point, WordPerfect, Lotus AmiPro, Lotus Word pro, Lotus 123, Lotus Approach, Paradox, SAS and NCSS.*

### **EDUCATION**

**M.A., Anthropology, University of Tennessee, Knoxville, TN, 1999.** Concentration in **zooarchaeology**. Major GPA - 3.8, Overall GPA -3.66

**B.A., Anthropology, Cum Laude, Franklin Pierce College, Rindge, NH, 1993.** Concentration in **archaeology**. Major GPA - 3.78, Overall GPA - 3.49.

**General Studies, Howard County Community College, Columbia, MD, 1990.** Courses in **advanced photography**.

### **ARCHAEOLOGICAL ORGANIZATIONS**

**Florida Archaeological Council (FAC) 2005-Present**

**Council of Maryland Archaeologists (CfMA) 2003-2005**

**Registry of Professional Archaeologist (RPA) 1999-Present**

**International Congress of Archaeozoologists (ICAZ) 1995-Present**

**Archaeological Society of Maryland (ASM) 1978 -2005**

Certified Archeological Technicians (CAT) Program Committee Chair 2003-2005

### **OCCUPATIONAL CERTIFICATES**

**OSHA Trench Safety 2003**

**OSHA 24-hour HAZMAT Certificate 2001**

**PADI Rescue Diver 1989**

### **FIELD SCHOOLS**

**Maritime Archaeological and Historical Society, MD - Learned various underwater excavation techniques (class work only), 1994.**

**Adams Point, NH - Learned various excavation techniques on a coastal Late Woodland Native American settlement, 1991.**

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**SPECIALIZED TRAINING**

**Classes/Seminars:**

Received extensive training at the University of Tennessee in the identification of a number of animal taxa, including fish and freshwater mussels. Also trained in distinguishing human remains from animal remains. Have performed skeletal work up for several skeletons.

**Zooarchaeology Laboratory:** Anthropology 521- This was an intensive class that required learning most of the crania and post cranial remains of mammals, birds, reptiles and amphibians of Eastern North America.

**Zooarchaeological Seminar (Taphonomy):** Anthropology 522- Learned to distinguish faunal assemblages produced by humans versus those of animals be they canids, owls, or natural depositions.

**Zooarchaeology Seminar (Osteichthyes):** Anthropology 522 - an intensive class in fish osteology. In addition to learning the bones of the skull for various fish genera, species identifications, were made within certain genera when possible. Dr. Walter Klippel at the University of Tennessee taught both Anthropology 521 and 522 classes.

**Zooarchaeology Seminar (Malacology):** Anthropology 522- Dealt with fresh water mussels of the mid-continental United States. While this may seem geographically constrictive, most fresh water mussels are distributed across the country. Also analyzed fresh water gastropods (snails) and salt water mussels. Dr. Paul Parmalee taught anthropology 522.

**Graduate and Undergraduate Level Human Osteology:**

Graduate level Osteology taught by Dr. Murry Marks. Learned to identify both fragmentary and complete bones from the human skeleton. Undergraduate level Osteology taught by Dr. Howard Hecker. Learned to identify human remains.

**BURIAL EXCAVATIONS**

Goodwin 1999 to 2005:

- Phase I Monitoring, Gala Site (Woodland Period) a Native American burial ground, Gala, VA.
- Phase I Monitoring, St. Ann's Cemetery (18<sup>th</sup> to 19<sup>th</sup> century) curb removal, Annapolis, MD.
- Phase III excavation Wactel/Stine family cemetery (18<sup>th</sup> to 19<sup>th</sup> century) Supervised the removal of 83 individuals from Washington Co., MD.
- Phase I Monitoring Clagget's cemetery (early to mid 19<sup>th</sup> slave cemetery). in Talbot Co., MD.
- Phase I Monitoring Laboring son's cemetery (early to mid 19<sup>th</sup> century freed black cemetery) in Frederick, MD.
- Phase Ia Remote Sensing Survey St. Martin's Church Yard (18<sup>th</sup>-19<sup>th</sup> century) Anglican Church in Worchester Co., MD.
- Phase III Excavation West family cemetery (18<sup>th</sup>-19<sup>th</sup> century) in Alexandria, VA.

Alexandria Archaeology January -June 1993

- Phase III excavation Queen St. Cemetery (1700-1800s). Excavated over 20 burials in Alexandria, VA.

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**HUMAN SKELETAL ANALYSIS**

Goodwin 1999 to 2005:

Phase III Island of Vieques. Performed a full osteometric and paleopathological analysis of three skeletons including one child and several adults from pre-Columbian contexts on the Island of Vieques, PR.

Phase III Wactel/Stine family cemetery in Washington Co., MD. Analyzed 63 skeletons

Phase III West Family Cemetery. Aided in the identification of remains from seven individuals.

Franklin Pierce College Fall 1992

Phase III Clemet Family Cemetery. Analyzed two sets of human remains, one adult woman and one in utero fetus.

**TEACHING EXPERIENCE**

Spring 02, 03, 04, 05  
Summer 2003  
Fall 2004

**University of Baltimore, Baltimore, MD**

Introduction to Physical Anthropology: An introductory course focusing on physical anthropology.

Fall 00, 01, 03, 04  
Summer 05

**University of Baltimore, Baltimore, MD**

Man in the Biological World: An interdisciplinary course focusing on medical anthropology encompassing issues of biology, ecology, demography and human health.

Fall 2002

**Howard County Community College, Columbia, MD**

Introduction to Human Geography: An introductory course on the principles of human geography.

Fall 2002

**Howard County Community College, Columbia, MD**

Introduction to Cultural Anthropology: An introductory course on the principles of cultural anthropology.

Summer 2002

**Howard County Community College, Columbia, MD**

Introduction to Cultural Geography: An introductory course on the principles of cultural geography.

Summer 2001

**John Hopkins University, Baltimore, MD**

The Fossil Trail: An introductory course focusing on physical anthropology and archaeology.

**PUBLICATIONS**

2003 Proceedings of  
the 19<sup>th</sup> Mid-South  
Archaeological  
Conference

*Late Quaternary Vertebrates of the Central Mississippi River Valley.*  
Published in: *Proceedings of the 19<sup>th</sup> Mid-South Archaeological Conference*  
By: M. Ruddell and C. Davenport.

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- 1999 American Antiquity *Age of the Harrison Street Beast: Electro Paramagnetic Resonance Spectra from Tooth Enamel.* By: R. Weeks, M. Elam, J. Bogard, and C. Davenport. Submitted to: *American Antiquity*.
- 1999 U. of TN **MA Thesis:** *Estimating Sex and Weight of Odocoileus virginianus (Whitetail Deer) with Implications to Human Status at Toqua (40MR6).*
- 1998 International Journal of Osteology *A Histological Approach for Distinguishing the Postcranial Material of Fossil and Recent Members of the Genus Equus.* Submitted to: *International Journal of Osteology.* By: C. Davenport and M. Ruddell.

PAPERS PRESENTED

- 2004 13<sup>th</sup> Annual Workshop in Archaeology Presented at MHT *The CAT Program: Scratch Below the Surface.* Discussion of the requirements of the Certified Archaeological Technician (CAT) Program.
- 2003 Western & Monocacy Archeological Chapters of Maryland *Early Prehistory and Pleistocene Fauna in Maryland and North America.* Presented at the May meeting of the Western and Monocacy Archeological Chapters of Maryland.
- 2003 Upper Patuxent Archaeological Society of Maryland *Zooarchaeological Methods and Practices.* Presented at the May meeting of the Upper Patuxent Archaeological society.
- 2002 ICAZ Osteon Workshop *Distinguishing the Genus Equus Based on Microhistology.* Presented September 5-7, 2002 in conferences titled "Osteons: Their Use in Age Determination, Species Identification, and Differential Diagnosis" held at the Institut für Anthrologie, Universität Göttingen, Germany.
- 2000 Upper Patuxent Archaeology Society *Colonial Subsistence Practices in Maryland.* Presented at the February meeting of the Upper Patuxent Archaeological Society.
- 1999 Trail of Tears Conference *Determining Sex and Weight of Odocoileus virginianus (Whitetail Deer) with Implications to Human Status at Toqua (40MR6).* Presented at Trail of Tears Conference, Sweetwater, TN.
- 1998 ICAZ Meeting *A Demonstration of Two New Methods of Determining Sex and Weight of Odocoileus virginianus With Implication to Game Selection and Status.* Presented at International Congress of Archaeozoologists, Victoria, BC.



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- 1998 Mid South Archaeological Meeting *Quaternary Vertebrate Paleontology of the Mid-South: New Clues for Paleoindian Subsistence Strategies.* By: M. Ruddell and C. Davenport. Presented at the annual Mid-South Archaeological meeting dealing with Paleoindian subsistence in a nontraditional environment.
- 1998 SAA Meeting *EPR Analysis of Fossil Tooth Enamel: Signal Source and Composition.* By: R. Weeks, J.M. Elam, J. Bogard and C. Davenport. Presented at the annual meeting of the Society for American Archaeology.
- 1997 CRP *Late Quaternary Vertebrates of the Central Mississippi River Valley.* Published in: *Current Research of the Pleistocene.* By: M. Ruddell, R. Brister, J. Conoway, C. Davenport, P. Delcort, and R. Saucier.
- 1995 Society Vertebrate Paleontologists *Identification of Species of Equus from Cortical Bone Microstructure.* Poster presentation at the Society of Vertebrate Paleontologists dealing with differences between Equus species over time. electron spin resonance dating of fossil horse tooth enamel.

TECHNICAL REPORTS

- 2004 Goodwin *Report on the Human Remains from Washington County Cemetery (18WA470).* Analyzed 62 sets of human remains and placed them into a regional framework.
- 2003 Goodwin *Report on the Malacological Fauna from the Gulf of Mexico.* By C. Davenport and L. Riccard. A possible underwater prehistoric shell midden off the coast of Louisiana.
- 2002 Goodwin *Report on the Faunal Remains from Tudor Hall (18ST677).* A small colonial faunal collection from Saint Mary's County, MD.
- 2002 Goodwin *Report on the Faunal Remains from Ft. Detrick (18FR685).* A small historic faunal collection from Frederick County, MD.
- 2002 Goodwin *Report on the Faunal Remains from Brookeville Mill (18Mo460).* An 18<sup>th</sup>-19<sup>th</sup> century mill site.
- 2002 Goodwin *Report on the Faunal Remains from Brookeville (18Mo368).* An 18<sup>th</sup>-19<sup>th</sup> century house site.
- 2002 Goodwin *Report on the Faunal Remains from Botany Bay (12VAM 3-12).* Precolumbian faunal assemblage from the Virgin Islands.
- 2002 Goodwin *Report on the Faunal Remains from PAX 2000.* An early 18<sup>th</sup> century house site.

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- 2002 Martha Williams *Report on the Faunal Remains from an early 18<sup>th</sup> century farmstead.*
- 2001 Goodwin *Report on the Faunal Remains from Federated Charity Privy. Report on animal remains from an early 19<sup>th</sup> century outhouse.*
- 2001 Goodwin *Cultural Resource Survey and Evaluation for The Four Seasons At Kent Island Queen Ann's County, MD. By C. Davenport, T. Davis, M. Williams, J. Tobey and J. Borneman.*
- 2001 Goodwin *Phase I Archeological Investigations for The Enyart Property Anne Arundel County, MD. By C. Davenport, M. Hornum and N. Patch.*
- 2001 Goodwin *Phase I Archeological Investigations for The Edmonston Property Howard County, MD. By C. Davenport and M. Hornum.*
- 2001 Goodwin *Report on the Faunal Remains from King's Creek. A 17<sup>th</sup> century Glazers Shop from Virginia.*
- 2001 Goodwin *Report on the Human Remains from Sebana Seca. Identification of human remains from Puerto Rico*
- 2001 Goodwin *Report on the Faunal Remains from Cherry Point, NC. A small prehistoric faunal assemblage.*
- 2000 Goodwin *Phase I Archeological Survey for the Proposed Baltimore Transit Police Academy, Cherry Hill, Baltimore City, MD.*
- 2000 Goodwin *Report on the Faunal Remains from Three Sites on Kent Island. Three small faunal assemblages.*
- 2000 Goodwin *Report on the Faunal Remains from the West Family Cemetery (44AX183). Identified the small animal remains from within an 18th century family vault.*
- 2000 Goodwin *Report on the Faunal Remains from Homewood (18AN871) in Londontowne, MD. A colonial house site.*
- 2000 Goodwin *Report on the Faunal Remains from Rumney's Tavern (18AN48) in Londontowne, MD. A colonial tavern site.*
- 2000 Goodwin *Report on the Faunal Remains from Oceana II (44VB219). A small faunal assemblage spanning many time periods in Virginia.*
- 2000 Goodwin *Report on the Faunal Remains from Indian Head (18CH673). A small faunal assemblage spanning many time periods in Virginia.*

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- 2000 Goodwin *Report on the Faunal Remains from Kings Creek.* A Colonial Period faunal assemblage in Virginia.
- 2000 Goodwin *Report on the Faunal Remains from Towneneck (18AN944).* An 18th century faunal assemblage.
- 1999 Goodwin *Report on the Faunal Remains from Moorefield (46HY89).* A Contact Period Native American burial ground in West Virginia.
- 1999 Goodwin *Report on the Faunal Remains from Patuxant Naval Air Station (PAX) (18ST407).* An elite 17th century Maryland household.
- 1999 Goodwin *Report on the Terrestrial Snail Remains from Sebana Seca.* Identified numerous species of land snails from the archaeological record. Also identified habitat and the earliest arrival of a non-native species.
- 1999 Goodwin *Report on the Faunal Remains from Stop 71/2 DO 59.* A Precolumbian site in Puerto Rico.
- 1999 Goodwin *Report on the Faunal Remains from PR5-12VPPR-200.* A Precolumbian site in Puerto Rico.
- 1999 Goodwin *Report on the Faunal Remains from Chiller Site (31CR52).* A small faunal assemblage spanning many time periods.
- 1999 Cultural Resource Analysts, Inc. *Report on the Faunal Remains from Argosee (12D520).* An early 19th- 20th century multi-structure historic site (PI. A. Bradberry).
- 1999 U. of TN *Report on the Phase I Faunal Material Recovered from Tellico Reservoir.*
- 1999 U. of TN *Report on the Phase I Faunal Material Recovered from Cherokee Reservoir.*
- 1999 U. of TN *Report of the Phase III Faunal Material Recovered from the Tipton House (40LD179).* An early 19th- 20th century farmstead with slave quarters (PI. S. Frankenberg).
- 1998 U. of TN *Report on the Freshwater Gastropods Recovered at Fort Loudon Reservoir 40KN15, Knox County, TN.* A multicomponent site spanning from the late archaic through the Mississippian phases including a late prehistoric Cherokee Village (PI. S. Frankenberg).
- 1998 Kentucky Arch. Survey *Report on Logan's Fort Faunal Material 15LI95, KY.* A multicomponent site spanning from a Revolutionary War frontier fort to a 19th century farmstead (PI. K. McBride).

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- 1998 U. of TN *Report on the Phase I Faunal Material Recovered at Fort Loudon Reservoir 40KN15, Knox County, TN. A multicomponent site spanning the Dallas phase Mississippian through a late prehistoric Cherokee Village (PI. S. Frankenberg).*
- 1998 U. of TN *Report on the Phase I Faunal Material Recovered at Melton Hill Reservoir. Sites: 40AN83, 40AN85, 40AN79, 40AN15, 40AN114, 40AN115, AN4, 40KN156, 40KN170, 40KN171, 40KN175, and 40KN188 (PI. S. Frankenberg).*
- 1998 U. of TN *Report on the Phase II Faunal Material Recovered at Rarity Bay 40LD179, Monroe County, TN. A historic farmhouse (PI. S. Frankenberg).*
- 1998 Cultural Resource Analysts, Inc. *Report on the Faunal Remains from a Small Multicomponent Rock Shelter (15CU27) in Cumberland County, KY. An Upland Woodland/Mississippian site (PI. A. Bradberry).*
- 1997 U. of TN *Report on the Phase II Faunal Material Recovered at Watts Bar Reservoir (PI. J.M. Elam).*
- 1997 Indiana Purdue University *A Report on the Faunal Remains from the Richardville Site, A Prehistoric and Historic Miami Home in Fort Wayne. Allen County, IN (PI. R. Jeske).*
- 1996 Hagerman Fossil Beds *First hand analysis of thin sectioned horse bone to set a precedent of microstructure morphology for the first "true" species of *Equus* (*Equus simplicidens*).*
- 1996 Indiana Purdue University *Faunal analysis of a possible Paleoindian horse kill from Fort Wayne, IN (PI. R. Jeske).*
- 1995 John Milner Associates *Shepherdstown, WV (46JF325) Faunal Remains. Phase III faunal report for site 46JF325. A Late Woodland village site located along the Potomac River in West Virginia (PI. S. Fiedel).*
- 1995 Dept. of Transportation U. of TN *Roane County, TN (40RE192) Faunal Remains. Phase II faunal report of an 18th century historic farm site located in central Tennessee. (PI. C. Bentz). Report by C. Davenport and W. Klippel.*
- 1993 Franklin Pierce College **Honors Thesis:** *Estimations of Human Population Size at Adams Point New Hampshire During the Late Middle Woodland. Initial analysis of faunal material from Adams Point, NH. Made inferences of meat ratios duration occupation and estimation of human population. Thesis was cited in the site report, which was submitted to state archaeologist (PI. H. Hecker).*

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- 1992 Franklin Pierce College *Faunal Report on Adams Point New Hampshire NH40-14 and NH40-14A 1991 Summer Excavation.* Analyzed initial data from an archaeological field school, determined number of individual specimens present (NISP), determined the minimum number of individuals present (MNI), meat ratios, and described the bone tool assemblage present at the site (PI. H. Hecker).
- 1991 Franklin Pierce College *Report and Analysis Burial 4 "B" and 5.* Analyzed two human burials from the Clement Site, NH 39-3 Burial 4 "B" and 5. Determined race, age at death, and sex for the adult and estimated age for the inutero fetus.

**WORK EXPERIENCE**

Aug. 99- May 05

**R. Christopher Goodwin Associates, Frederick, MD**

Phase I, APM, Gala 44BO48, Gala, VA (C. Polglase).  
Phase I, APM, Otho Williams, Ann Arundel Co., MD (C. Child).  
Phase I, APM, Monitoring Church Circle Cemetery Annapolis, MD (W. Lowthert).  
Phase III, APM, Washington Co. Cemetery, Washington Co., MD (W. Lowthert).  
Phase I, APM, Clagget Cemetery, Charles Co., MD (W. Lowthert).  
Phase I, APM, Aberdeen Proving Grounds, Harford Co., MD (T. Davis).  
Phase I, APM, Laboring Sons Cemetery, Frederick Co., MD (C. Polglase).  
Phase II, APM, Barton Outfall, Allegheny Co., MD (J. Maymon).  
Phase II, APM, Collington North, Prince Georges Co., MD (M. Hornum).  
Phase II, APM, Shrewsbury, PA (M. Hornum).  
Phase I/II, APM, Weston USPTO. Alexandria, VA (M. Williams).  
Phase I, Crew Chief, SHA St. Martins (Ph. II), Worcester Co., MD (A. Markel).  
Phase I, Crew Chief, Dena Frederick, Frederick Co., MD (M. Hornum).  
Phase I, Crew Chief, Ballenger Creek, Frederick Co., MD (M. Hornum).  
Phase I, Crew Chief, Hunterstown Pipeline, Adams Co., PA (M. Hornum).  
Phase I, Crew Chief, Maravista Property, Anne Arundel Co., MD (M. Hornum).  
Phase III, Crew Chief, SHA Mt. Aetna, Washington Co., MD (W. Lowthert).  
Phase II, Crew Chief, Kent Island, Queen Ann's Co., MD (T. Davis).  
Phase II, Crew Chief, St. Martin's Churchyard, Worcester Co., MD (A. Markel).  
Phase I, Crew Chief, Carolstown Property, Anne Arundel Co., MD (M. Hornum).  
Phase I, Crew Chief, Offutt Property, Frederick Co., MD (M. Hornum).  
Phase I, Crew Chief, Enyart Property, Anne Arundel Co., MD (M. Hornum).  
Phase I, Crew Chief, Edmonston Property, Howard Co., MD (M. Hornum).  
Phase I, Crew Chief, Gunston Hall Apts., Alexandria, VA (D. Saldo).  
Phase I, Crew Chief, Baltimore Transit Police, Cherryhill, MD (T. Davis).  
Phase I, Crew Chief, Fairwood Properties, Prince Georges Co., MD (M. Hornum).  
Phase II, Crew Chief, Hoffman (18th Century Burial) Alexandria, VA (M. Williams).  
Phase I, Crew Chief, FGT 5, FL.

May- August 1999

**Tennessee Valley Authority (TVA), Norris, TN**

Various duties concerning archaeological resources within the Tennessee River

**Christian D. Davenport, MA, RPA.**

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Valley.

- Dec.96- Aug. 1999 **University of Tennessee, Knoxville, TN**  
Phase I, Senior Chief, Cherokee Reservoir (PI. S. Frankenberg).  
Phase I, Crew Chief, Cherokee Reservoir (PI. J.M. Elam).  
Phase III, Crew Chief, Rarity Bay (PI. S. Frankenberg).  
Phase I & II, Crew Chief, Tellico Reservoir (PI. J.M. Elam).  
Phase II, Crew Chief, Centers Ferry (PI. J.M. Elam).  
Phase I, Field Technician, Cherokee Reservoir (PI. J.M. Elam).  
Phase I, Field Technician, Tellico Reservoir (PI. J.M. Elam).  
Phase II, Field Technician, Watts Barr Reservoir.
- September 1997 **Dept. of Transportation University of Tennessee, Knoxville, TN**  
Analyzed the faunal remains from site number 40GL68 for H. Matternes.
- June-Aug. 1997 **Wilbur Smith Associates, Lexington, KY**  
Assisted S. Coughlin with the analysis of Camp Nelson, a Civil War camp in Jessamine Co., KY. Sites 15JS96, 15JS97 and 15JS113 (PI. S. McBride).
- Aug 1997 -  
Aug 1996 **Pink Palace Museum, Memphis, TN**  
Research Associate on the Conoway collection. A collection of Pleistocene megafauna remains from the central Mississippi alluvial valley (R. Bristier).
- June-July 1995 **John Milner and Associates, Alexandria, VA**  
Phase I, Field Technician, Lee County, VA. (PI. S. Fiedel).  
Phase III, Field Technician, Shepherdstown, WV. (PI. S. Fiedel).
- August 1994 **Joseph Hopkins Associates Inc., Baltimore, MD**  
Phase I, Field Technician.
- June-July 1994 **Franklin Pierce College, Durham, NH**  
Field Director, field school (PI. H. Hecker).
- Feb.-June 1994 **Alexandria Archaeology, Alexandria, VA**  
Phase III, Field Technician, excavation of Quaker cemetery.
- June 1993 -  
Feb. 1994 **Greenhorn & O'Mara, Beltsville, MD**  
Phase I & II, Field Technician, Somerset, PA. (Chief J. Sparenburg).  
Lab work (Jan. 1994).  
Phase I Field Technician, Pulte Realty, Lorton, VA. (Jan.-Feb. 1994).
- January 1992 **Epoch, Dunkirk, MD**  
Phase I, Field Technician, Laurel, MD. (PI. D. Myeres and D. Link).
- June 1985-1986 **Howard County Parks and Recreation, Ellicott City, MD**  
Archaeological Assistant, organized and ran the field school at Simpsonville Mill, Simpsonville, MD. (PI. L. Preston).

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Summer 1983-1984 **Upper Patuxent Archaeological Society, Ellicott City, MD**  
Simpsonville Mill, Field Technician, Simpsonville, MD (Pl. L. Preston).

Summer 1978-1986 **Assisted in various Mid-Atlantic area excavations. (Volunteer).**

**REFERENCES**

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